

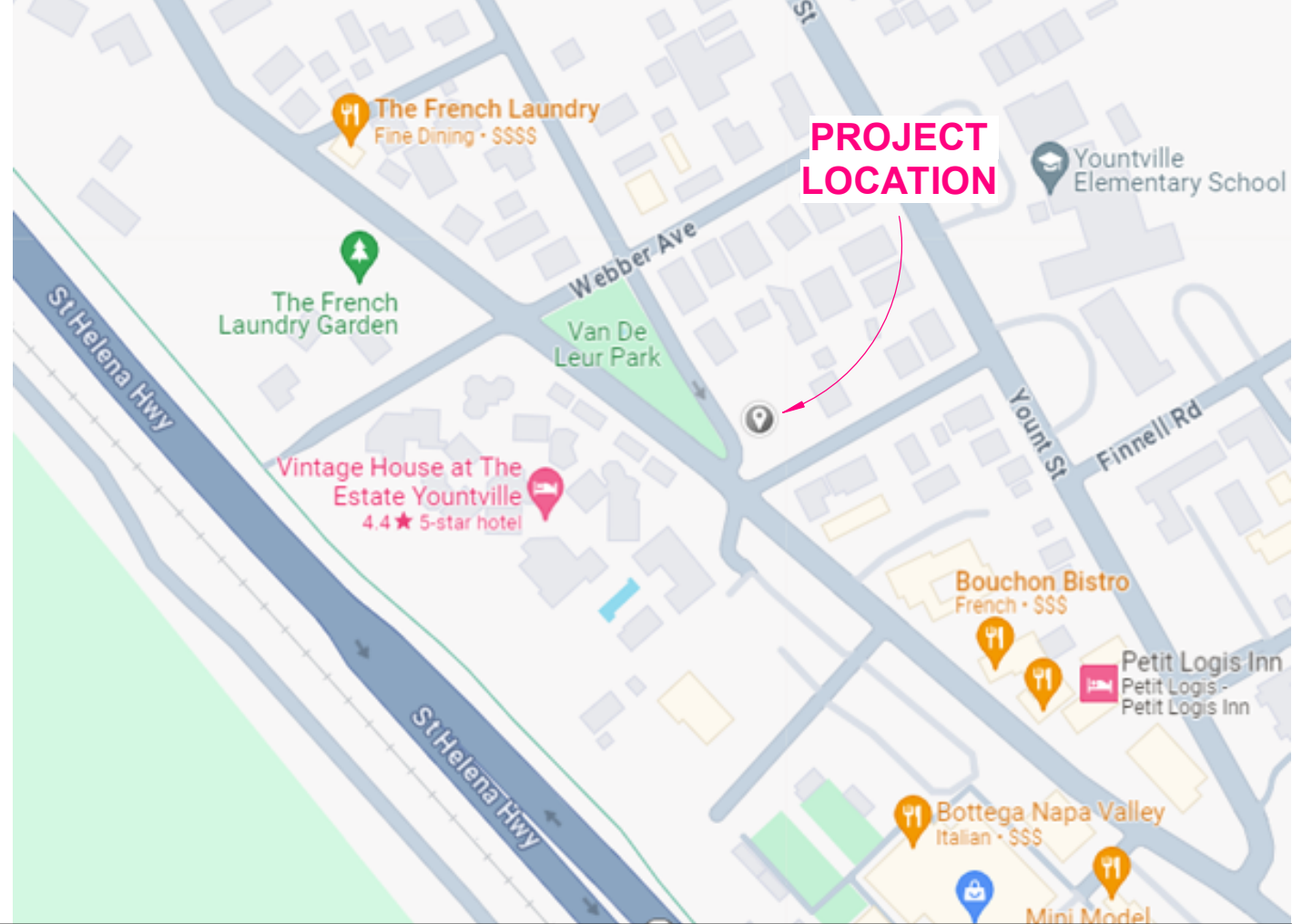
N:\0_2023 Projects\0303 Pacific Properties\Yountville Mixed-Use\23 YOUNTVILLE\023-001_YOUNTVILLE Mixed-Use_240109-04.dwg
4/1/2024 2:18:25 PM
24033 YOUNTVILLE MIXED-USE T1

YOUNTVILLE, MIXED-USE NEW CONSTRUCTION

ABBREVIATION LIST

AB	ANCHOR BOLT	FOB	FACE OF BRICK, BLOCK	PL	PLATE
ACOUS	ACOUSTICAL	FOC	FACE OF CONCRETE	PLF	PREFAB
ACC	ASPHALT CONCRETE	FOF	FACE OF FINISH	PRFIN	PREFINISHED
AC	ACCESSIBLE	FOM	FACE OF MASONRY	PJF	PREFORMED JOINT FILLER
A/C	AIR CONDITIONING	FOS	FACE OF STUD	PLAM	PLASTIC LAMINATE
ADH	ADHESIVE	FRF	FIREPROOF	PLAS	PLASTER
ADJ	ADJACENT, ADJUSTABLE	FRP	FBGL REINF PANEL	PM	PRESSED METAL
AFF	ABOVE FIN FLR	FRTD	FIRETREATED	PML	PANEL
AGGR	AGGREGATE	FS	FULL SCALE	PNT	PAINT
AL	ALUMINUM	FT	FOOT, FEET	POL	POLISH
ALT	ALTERNATE	FTG	FOOTING	PSI	POUNDS / SQUARE INCH
ANOD	ANODIZED	FUR	FURRING	PRF	PREFORMED
AP	ACCESS PANEL	FURN	FURNISH(ING)	PROP	PROPERTY
APPRX	APPROXIMATE	FUT	FUTURE	PNT	POINT
ARCH	ARCHITECTURAL	FN	FIELD NAIL	PT	PRESSURE TREATED
ASSY	ASSEMBLY			PTN	PARTITION
		GA	GAUGE	PVC	POLYVINYL CHLORIDE PAVEMENT
BBD	BACKERBOARD	GALV	GALVANIZED	PVMT	PAVEMENT
BD	BOARD	GB	GYPSUM BOARD	PLYWD	PLYWOOD
BE	BELOW	GC	GENERAL CONTRACTOR	QT	QUARRY TILE
BET	BETWEEN	GD	GRADE		
BL	BUILDING LINE	GL	GLASS	S	SOUTH
BLDG	BUILDING	GOVT	GOVERNMENT	SA	SUPPLY AIR GRILL
BLK	BLOCK	GS	GALVANIZED STEEL	SC	SOLID CORE
BLKG	BLOCKING	GYP	GYPSUM	SCHED	SCHEDULE
BM	BEAM, BENCH MARK			SD	STORM DRAIN
BOT	BOTTOM	H	HORIZONTAL	SECT	SECTION
BRG	BEARING	(H)	HANDICAP	SF	SQUARE FOOT
BRK	BRICK	HB	HOSE BIBB	SH	SHELF
BRKT	BRACKET	HC	HOLLOWCORE	SHT	SHEET
BRZ	BRONZE	HDBD	HARDBOARD	SH	SIMILAR
BACKSP	BACKSPLASH	HDWR	HARDWARE	SJ	STEEL JOIST
BUR	BUILT-UP ROOF	HM	HOLLOW METAL	SK	SINK
BVL	BEVEL	HORIZ	HORIZONTAL	SL	SOFFIT LEVEL
		HT	HEIGHT	SLNT	SEALANT
CAB	CABINET	HR	HOUR	SMD	SEE MECHANICAL DWG'S
CB	CATCH BASIN	HRU	HEAT RECOVERY UNIT	SMS	SHEET METAL SCREW
CEM	CEMENT			SOG	SLAB ON GRADE
CHAM	CHAMFER	ID	INSIDE DIAMETER	SOW	SCOPE OF WORK
CBD	CHALK BOARD	IN	INCH	SP	STRUCTURAL PLYWOOD
CJ	CONTROL JOINT	INCL	INCLUDED	SPC	SPECIFICATION
CL	CENTERLINE	INST	INSTALL	SPD	SEE PLUMBING DWG'S
CLG	CEILING	INSUL	INSULATION	SQ	SQUARE
CLO	CLOSET	INT	INTERIOR	S&R	SHELF & ROD(OR POLE)
CLR	CLEAR	INV	INVERT	SS	SERVICE SK, STNLESS STL
CM	CONST MANAGER	IP	IRON PIPE	SSD	SEE STRUCTURAL DWG'S
CMU	CONC MASONRY BLOCK			STD	STANDARD
CO	CLEANOUT	LF	LINEAL FOOT	STL	STEEL
COL	COLUMN	LKR	LOCKER	STN	STAIN
CONC	CONCRETE	LL	LIVELOAD	STOR	STORAGE
CONST	CONSTRUCTION	LVR	LOUVER	STRUCT	STRUCTURAL
CONT	CONTINUOUS	LWTW	LIGHTWEIGHT	SUSP	SUSPENDED
CTR	CONTRACTOR				
CPT	CARPET	MACH	MACHINE	T & TR	TREAD
CNSK	COUNTERSINK	MN PFM	MAIN PLATFORM	T&B	TOP & BOTTOM
CT	CERAMIC TILE	MAT	MATERIAL	T&B BD	TACKBOARD
CY	CUBIC YARD	MAX	MAXIMUM	TEL	TELEPHONE
		MB	MACHINE BOLT	TEMP	TEMPERATURE
DTL	DETAIL	MECH	MECHANICAL	TG	TEMPERED GLASS
DF	DRINKING FOUNTAIN	MED	MEDIUM	THOLD	THRESHOLD
DI	DRAIN INLET	MEM	MEMBRANE	TG	TONGUE & GROOVE
DIA	DIAMETER	MET	METAL	TH	THICK(NESS)
DIM	DIMENSION	MEZZ	MEZZANINE	TOIL	TOILET
DIV	DIVIDER	MFR	MANUFACTURER	TOC	TOP OF CURB OR CONC
DL	DEAD LOAD	MH	MANHOLE	TOD	TOP OF DECK
DN	DOWN	MI	MALLEABLE IRON	TOF	TOP OF FOOTING OR TOP OF FRAMING
DP	DEEP	MIN	MINIMUM	TOJ	TOP OF JOIST
DS	DOWNSPOUT	MIR	MIRROR	TOP	TOP OF PAVEMENT
DWG	DRAWING	MISC	MISCELLANEOUS	TOS	TOP OF STEEL
DWR	DRAWER	ML	METAL LATH	TOW	TOP OF WALL
		MO	MASONRY OPENING	TRTD	TREATED
EO	EQUAL	MR	MOISTURE RESISTANT	TRZO	TERRAZZO
EQUIP	EQUIPMENT	MTD	MOUNTED	TYP	TYPICAL
ESMT	EASEMENT	MUL	MULLION		
EW	EACH WAY			UC	UNDER CABINET
EXP	EXPANSION, EXPOSURE	(N)	NEW	UON	UNDERWRITERS LAB
EXT	EXTERIOR	N	NORTH		UNLESS OTHERWISE NOTED
EN	EDGE NAIL	NAT	NATURAL		
		NIC	NOT IN CONTRACT	VAR	VARIABLE
FA	FIRE ALARM	NO	NUMBER	VERT	VERTICAL
FBGL	FIBERGLASS	NOM	NOMINAL	VAR	VARIABLE
FD	FLOOR DRAIN	NTS	NOT TO SCALE	VAT	VINYL ASBESTOS TILE
FDN	FOUNDATION			VB	VAPOR BARRIER
FE	FIRE EXTINGUISHER	O/	OVER	VCT	VINYL COMPOSITION TILE
FEC	F.E. CABINET	OBS	OBSOLETE	VERT	VERTICAL
FF	FINISH FLOOR	OC	ON CENTER	VEST	VESTIBULE
FG	FIXED GLASS	OD	OUTSIDE DIAMETER	VG	VERTICAL GRAIN
FH	FIRE HOSE	OH	OVERHANG	VWC	VINYL WALL COVERING
FHC	FIRE HOSE CABINET	OPNG	OPENING		
FIN	FINISH	OP	OPPOSITE	WC	WALL COVERING
FIXT	FIXTURE	PBD	PARTICLEBOARD	W	WEST
FLG	FLASHING	PCC	PRECAST CONCRETE	WI	WITH
FLR	FLOOR	PCPL	PORTLAND CEM PLAS	WB	WOOD BASE
FLUOR	FLUORESCENT	PERF	PERFORATED	WD	WOOD
FO	FACE OF			WIN	WINDOW
				WG	WIRE GLASS

VICINITY MAP



PROJECT ADDRESS

2010 & 2012 HUMBOLDT ST. YOUNTVILLE CA

SCOPE OF WORK

MIXED-USE DEVELOPMENT (COMMERCIAL & RESIDENTIAL) COMPRISED OF RETAIL ON THE BOTTOM FLOOR WITH STORAGE ON SECOND FLOOR ALONG WITH TWO RESIDENTIAL UNITS (2 BEDROOMS AND TWO BATHS) WITH PRIVATE ENTRANCE THROUGH PARKING AREA. SECOND FLOOR ALSO INCLUDES A SHARED OUTDOOR DECK AND BBQ AREA WITH OUTDOOR FIREPLACE. THE PROPOSAL PROVIDES FOR ON-SITE PARKING PER THE PROPOSED USES. THE PROJECT SITE IS COMPRISED OF TWO UNDEVELOPED PARCELS, APN 036-054-022 (0.12 ACRES, 5,036SF) AND APN 036-054-023 (0.14 ACRES, 10,992SF). THE SUBJECT PARCELS HAVE A GENERAL PLAN LAND USE DESIGNATION OF RESIDENTIAL SCALED COMMERCIAL AND A ZONING DESIGNATION OF RESIDENTIAL SCALED COMMERCIAL.

CONCURRENT SUBMITTALS

AERIAL MAP



PROJECT DATA

- OCCUPANCY TYPE: B / R-2
- CONSTRUCTION TYPE: III-A
- SPRINKLER: Y
- PARCEL NUMBER: 036-054-022 & 023
- ZONING: RESIDENTIAL SCALED COMMERCIAL
- NUMBER OF STORIES: 2
- AREA OF WORK: SEE AREA BREAKDOWN ON A0.3
 - TOTAL 1ST FLOOR AREA: 2,571.42 SF [GROSS] CONDITIONED
 - a. PROPOSED BUSINESS 1st FL
- TOTAL 2ND FLOOR AREA: 3,202.78 SF [GROSS] CONDITIONED
- a. PROPOSED RESIDENTIAL 2FL: 2,539.86 SF [GROSS] CONDITIONED
- b. PROPOSED RETAIL STORAGE 2FL: 662.92 SF
- PROPOSED TOTAL AREA: 5,774.2 SF [GROSS] CONDITIONED
- SEE AREA BREAKDOWN ON A0.3

- APN: 036-054-022-000 [2010 HUMBOLDT ST]
- LOT (SF): 0.12 ACRES (5,037 SF)
- APN: 036-054-023-000 [2012 HUMBOLDT ST]
- LOT (SF): 0.14 ACRES (5,955 SF)
- TOTAL LOT SIZE: 0.26 ACRES (10,992 SF)
- CLIMATE ZONE: 9B

DRAWING SHEET INDEX

ARCHITECTURAL

- T1 TITLE SHEET
- A0.1 PROPOSED SITE PLAN
- A0.2 SITE CIRCULATION
- A0.3 SITE DATA & AREA EXHIBITS
- A1.0 PROPOSED FIRST FLOOR PLAN
- A1.1 PROPOSED SECOND FLOOR PLAN
- A1.3 PROPOSED ROOF & STORYPOLE PLAN
- A3.0 EXTERIOR ELEVATIONS
- A4.0 MATERIALS & FINISHES

CIVIL

- C-1.0 PRELIMINARY HORIZONTAL CONTROL PLAN
- C-2.0 PRELIMINARY GRADING PLAN
- C-3.0 PRELIMINARY UTILITY PLAN
- C-SW-1 STORMWATER CONTROL PLAN
- C-TMP TENTATIVE PARCEL MAP

LANDSCAPE

- L-1 PROPOSED LANDSCAPE PLAN
- L-2 PROPOSED LANDSCAPE LIGHTING PLAN

PROJECT TEAM

OWNER

YOUNTVILLE PACIFIC, LLC.
PO BOX 2176
CHICO, CA. 95927
KENT HALLEN
TEL: 530.898.0640

CIVIL

AMS ASSOCIATES, INC.
801 YGNACIO VALLEY ROAD, SUITE 220
WALNUT CREEK, CA 94596
AL SHAGHAGHI
TEL: 925.943.2777

ARCHITECTURAL

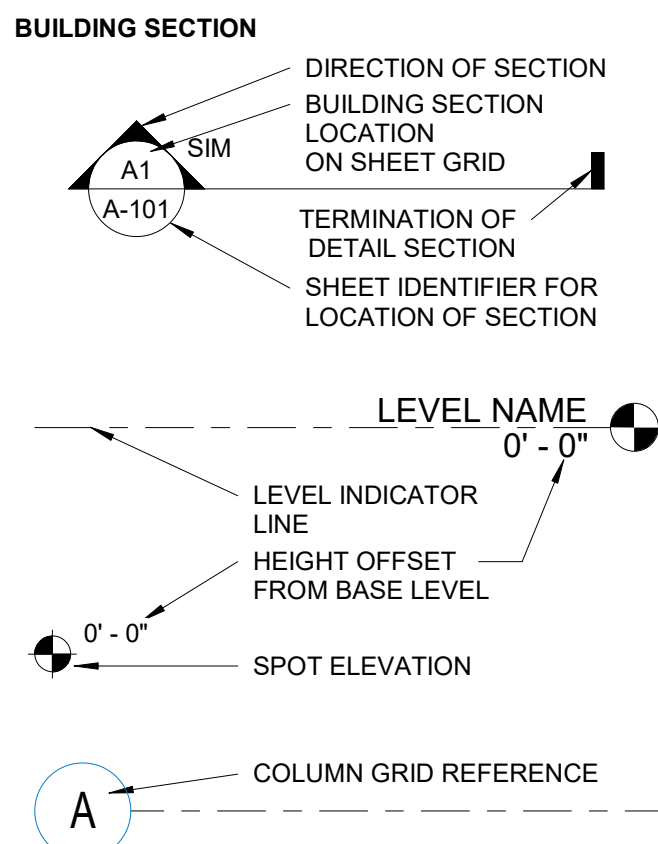
NAPA DESIGN PARTNERS, LLC
855 BORDEAUX WAY, SUITE 260
NAPA, CA. 94558
STEPHEN R. CUDDY, AIA
TEL: 707.275.5000

LANDSCAPE

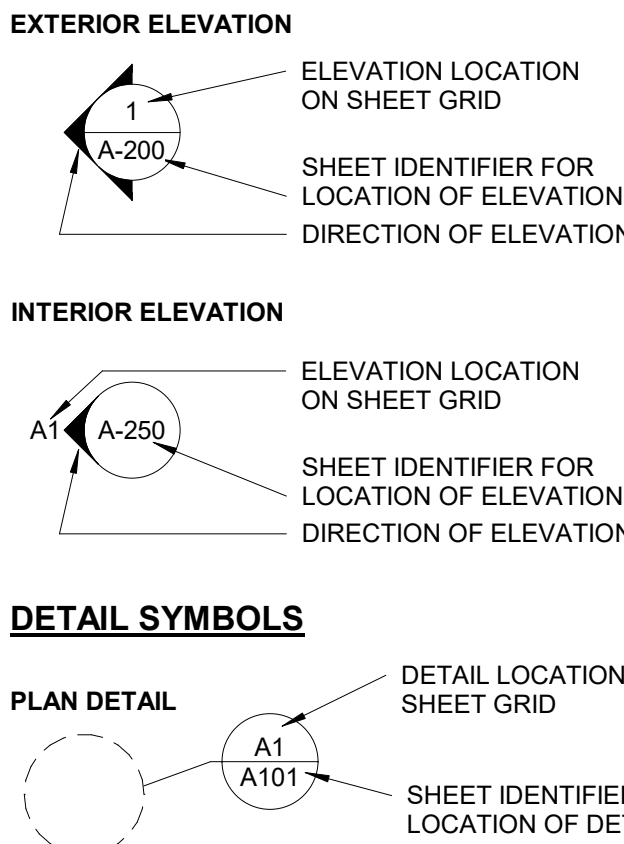
ALPINE LANDSCAPE INC.
PO BOX 6164
CHICO, CA. 95927
MICHAEL R. HRADECKY
TEL: 530.893.2620

ARCHITECTURAL SYMBOL LEGEND

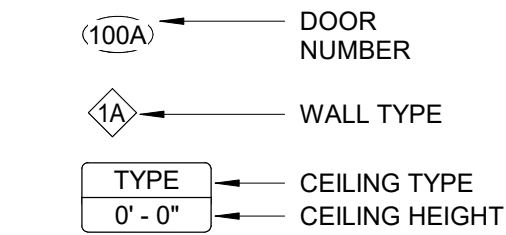
SECTION SYMBOLS



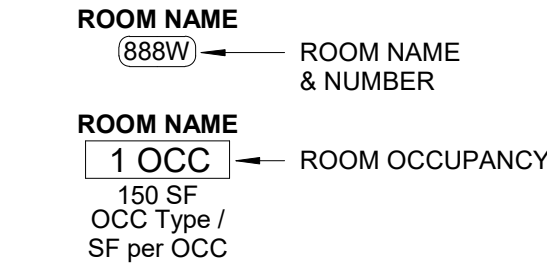
ELEVATION SYMBOLS & INDICATORS



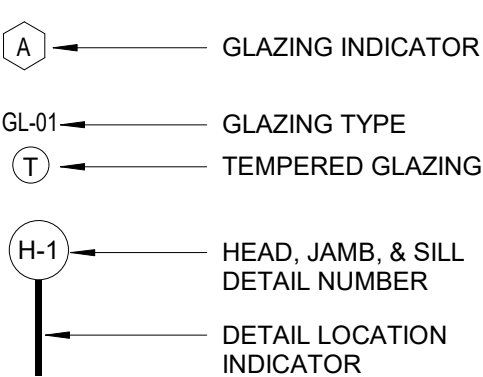
PLAN SYMBOLS



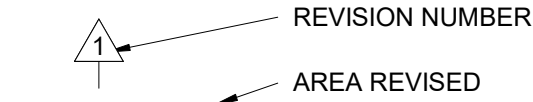
ROOM INDICATORS



GLAZING SYMBOLS



REVISION INDICATOR



APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS

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OWNER:

YOUNTVILLE PACIFIC, LLC.
PO BOX 2176 CHICO, CA 95927

PROJECT NAME:

YOUNTVILLE MIXED-USE
2010 & 2012 HUMBOLDT ST. YOUNTVILLE CA

APN#: 036-054-022 & 023

SHEET NAME:

TITLE SHEET

DESIGN PROFESSIONAL:



PROJECT NUMBER: 23-023

SUBMIT DATE: 2023-06-21

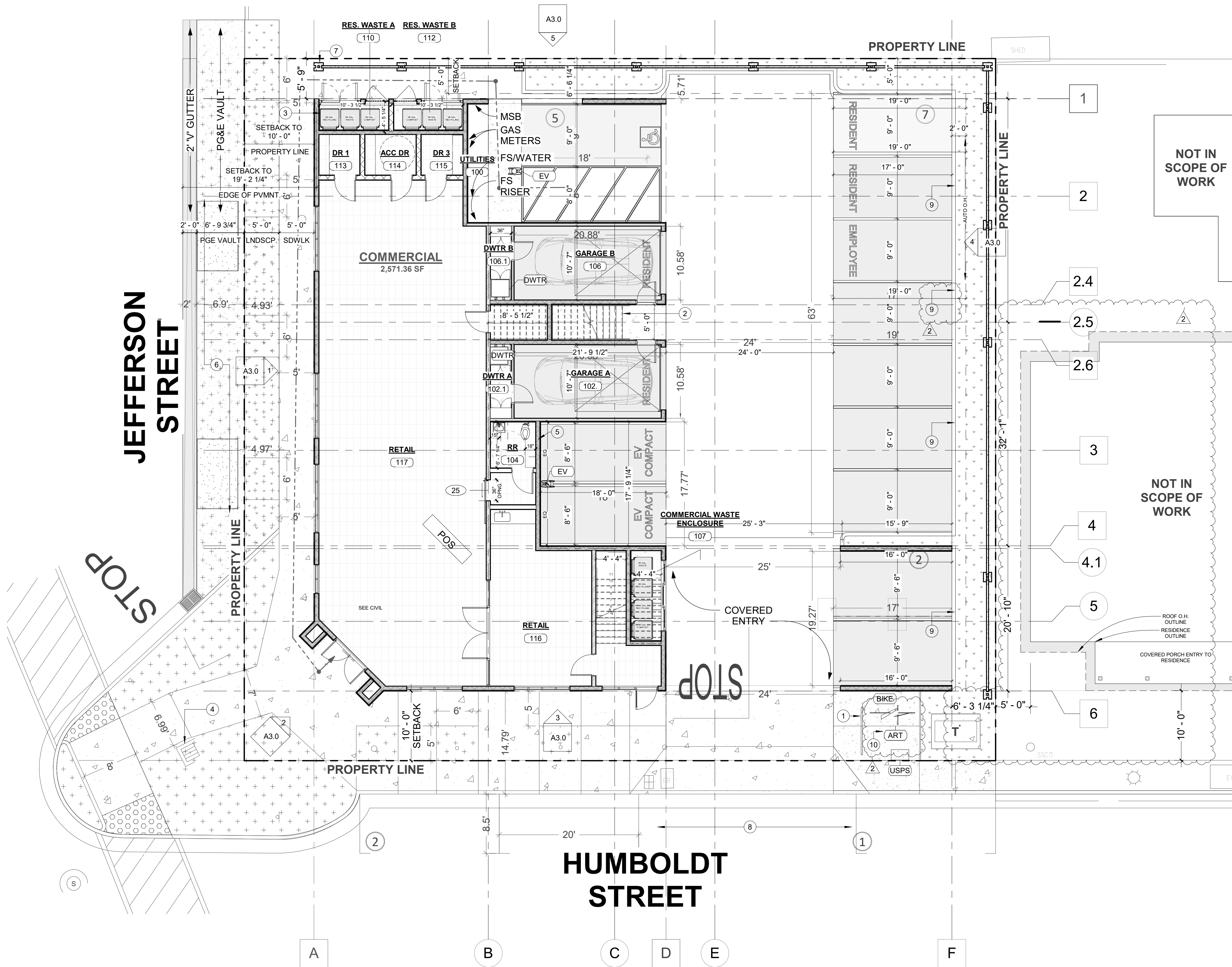
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PLANNING

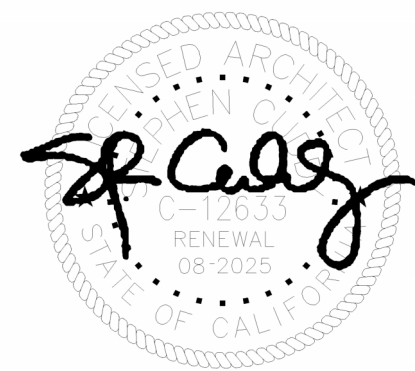
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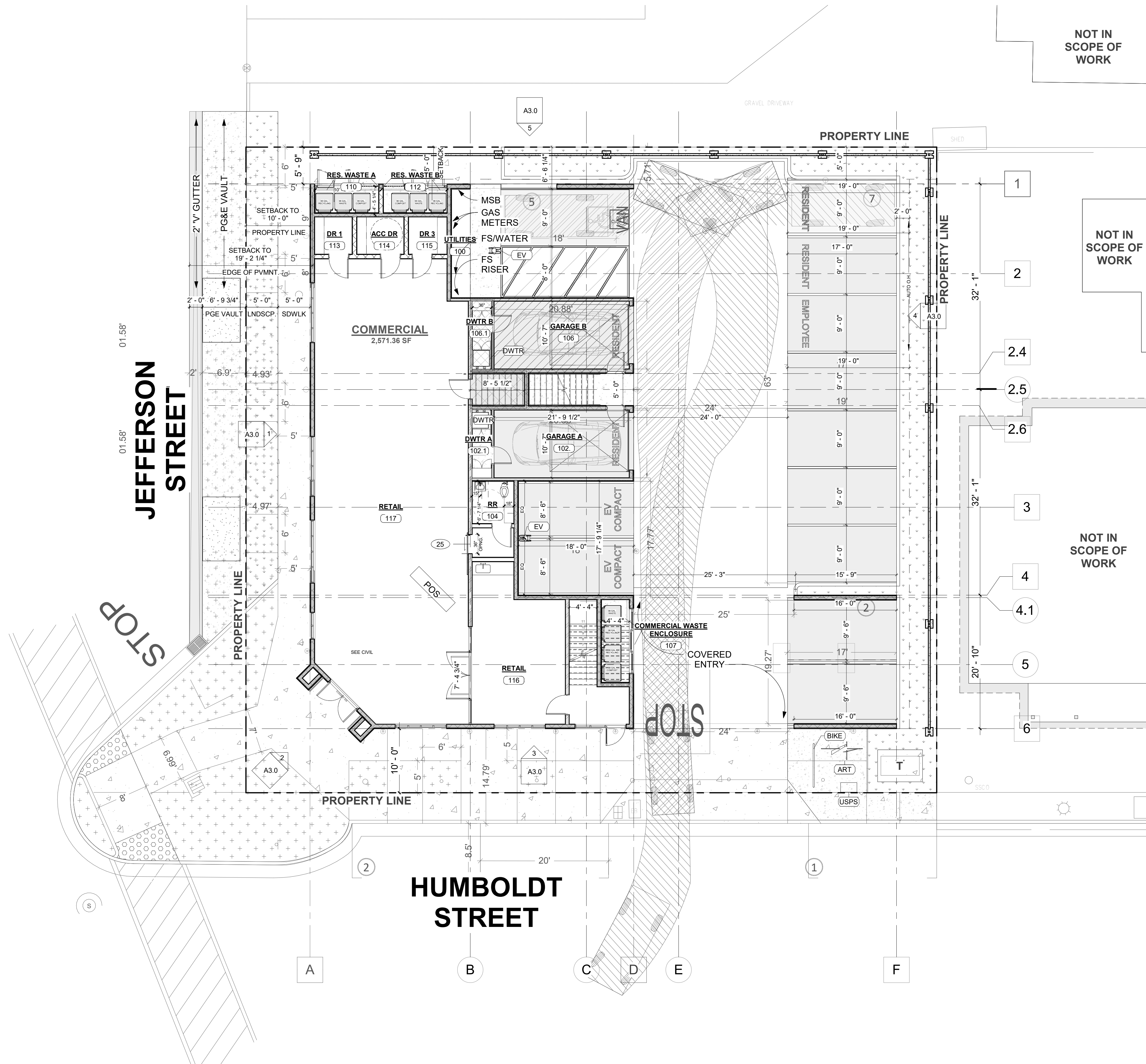
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PLANNING RESPONSE	23-11-30
PL-Pc3	24-01-18

T1



1 LEVEL 1 FLOOR PLAN
1/8" = 1'-0"





SITE PARKING DATA:

PARKING DATA: REQUIRED PARKING BASIS [17.116.020, F,1b | 4c]:

RETAIL PARKING BASIS = per F, 4c RETAIL = 1/250 SF
APARTMENT PARKING BASIS = per F, 1b DUPLEX = 4

TOTAL PARKING REQ'D:
- RETAIL 2,311 SF [1/250SF] = (9.2) = 10 STALLS
- 2 APT. UNITS = 1 COVERED / 1 SCREENED PER UNIT = 4 STALLS

TOTAL REQ'D = 14 STALLS REQ'D

ACCESSIBLE REQUIRED PARKING PER 11B-208:
TOTAL: 1 STALL

PARKING SIZES PER YOUNTVILLE MUNI CODE: [17.116.030 A)(B)]

STANDARD: 9' x 19'
COMPACT: 8'- 6" x 18'
DRIVE AISLES: 24'

TOTAL REQUIRED PARKING:
- STANDARD ACCESSIBLE PER CBC 2022, 11B-208.2 [1-25] = 1

- CLEAN AIR / VANPOOL / EV SPACES: 10% PER [17.116.020, J]
10*10% = 1

- EMPLOYEE PARKING: 50% PER [17.116.020, J]

TENANT A RETAIL: 2

PARKING PROVIDED:

- STANDARD 11
- ACCESSIBLE 1 (Includes 1 van accessible)
- CLEAN AIR / EV SPACES: 2 [SEE EV TAG]
- FUTURE ACCESSIBLE EV CHARGING SPACES: (1 VAN)
TOTAL PARKING PROVIDED: 14 STALLS PROVIDED

BICYCLE DATA: (17.116.010) BIKE RACK COUNT
MULTI-FAMILY 10%^{x4} = .4 REQUIRED
RETAIL 5%^{x11} = 1.1 REQUIRED

TOTAL BIKE RACKS REQ'D: PROVIDED:
1.5 (2) 2

*1 RACK = 2 SPACES PROVIDED

SITE SUMMARY: AREA

1. RESIDENTIAL TOTES PER UPPER VALLEY DISPOSAL & RECYCLING: 96 GALLON
2. SITE ACCESSIBLE ROUTE SLOPE 5% MAX, 2% MAX CROSS SLOPE PER CBC 11B-402.2.
3. LANDSCAPE SCREENING OR LOW REMOVABLE FENCE TO BE PROVIDED FOR SCREENING.

LOCATION: YOUNTVILLE, CA.

APN: 036-054-022-000 [2010 HUMBOLDT ST]
LAND (SF): 0.12 ACRES (5,037 SF)

APN: 036-054-023-000 [2012 HUMBOLDT ST]
LAND (SF): 0.14 ACRES (5,955 SF)

TOTAL LAND: 0.26 ACRES (10,992 SF)

SETBACKS: PER TABLE 17.56-1 RSC , SEE PLAN

HEIGHT LIMIT: TWO STORY, 22' TO PLATE, 30' TO PEAK

BLDG AREA (SF):

FIRST FLOOR

COMMERCIAL:
- RETAIL TOTAL = 2,496.68 SF
INCLUDED: - STAIRS = ~~2,571.42 SF~~ 74.82 SF 67.78
- TOILET ROOM = 94.19 SF 89.91
- LOBBY = 130.73 SF 125.51 SF

RESIDENTIAL:
- REST'L UNCOND. GARAGES: APT #1 & #2 = 593.85 SF 563.28
- UNCONDITIONED STAIR = 81.01 SF 93.09 SF

TOTAL FIRST FLOOR CONDITIONED = 2,496.68 SF
TOTAL FIRST FLOOR UNCONDITIONED = ~~2,571.42 SF~~ 674.86 SF
93.09 + 579.32 = 672.41 SF

SECOND FLOOR

RESIDENTIAL:
- APT #A = 1,273.16 SF 1,189.42 w/o shared corridor
- APT #A CVRD. DECK = 143.32 SF 143.54
- APT #A UNCVRD. DECK = 175.78 SF 184.61
- APT #A UNCVRD. BALCONY = 36.15 SF

- APT #B = 1,275.12 SF 1,200.77 w/o shared corridor
- APT #B CVRD. DECK = 146.46 SF 140.01
- APT #B UNCVRD. DECK = 171.89 SF 180.44
- APT #B UNCVRD. BALCONY = 36.15 SF

- PRIV'T. SHARED UNCVRD. DECK = 744.77 SF
• COND'TND. SHARED UNISEX TOILET = 67.65 SF 59.79 SF
• UNCOND'TND. DECK STORAGE = 20.78 SF 17.45 SF

COMMERCIAL:
- RETAIL STORAGE = 662.92 SF 534.78 SF
- ACCESSORY STORAGE = 19.58 SF 16.20 SF

SHARED COMM/RES:
- CONDITIONED STAIR + CORRIDOR = 128.91 SF
- 132.01 SF

TOTAL 2ND FLOOR CONDITIONED = 3,106.91 SF
TOTAL 2ND FLOOR UNCONDITIONED = 3,202.78 SF
1,476.48 SF

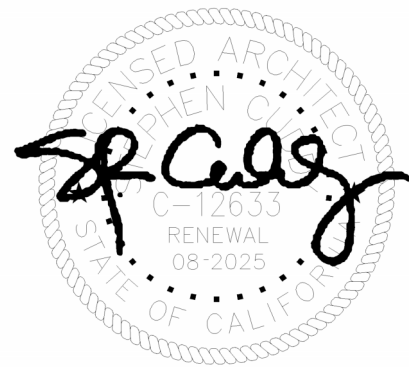
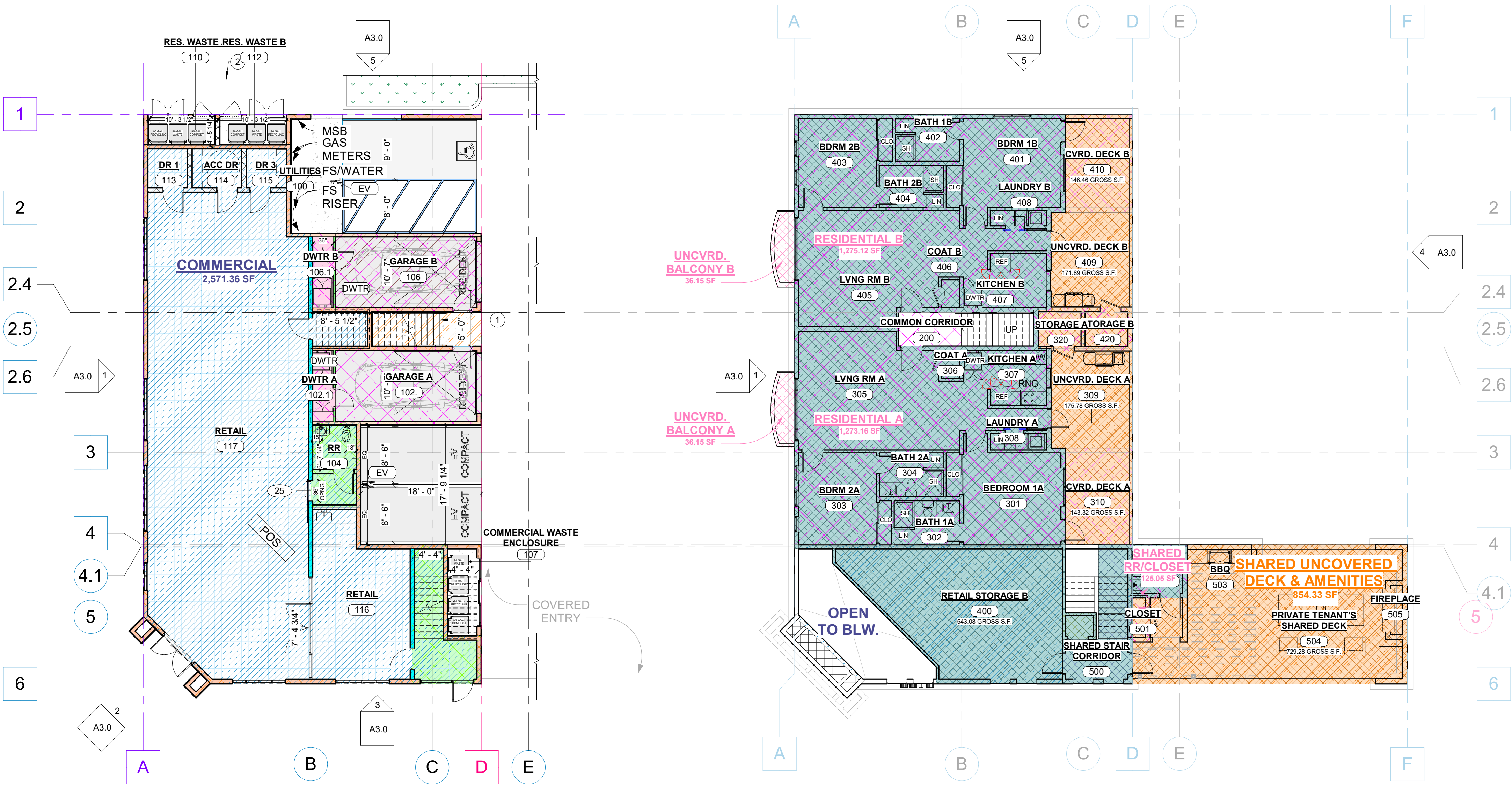
GROSS BLDG CONDITIONED AREAS: = 1FL + 2FL
2,496.68 SF = 2,571.42 SF + 3,202.78 SF
= 5,774.2 SF
= 5,603.59 SF

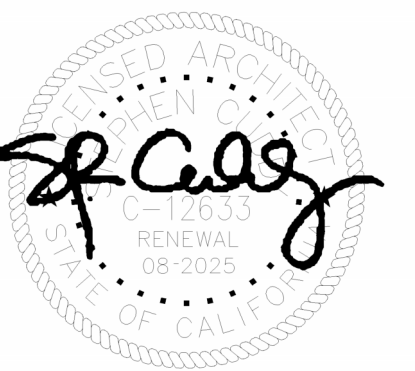
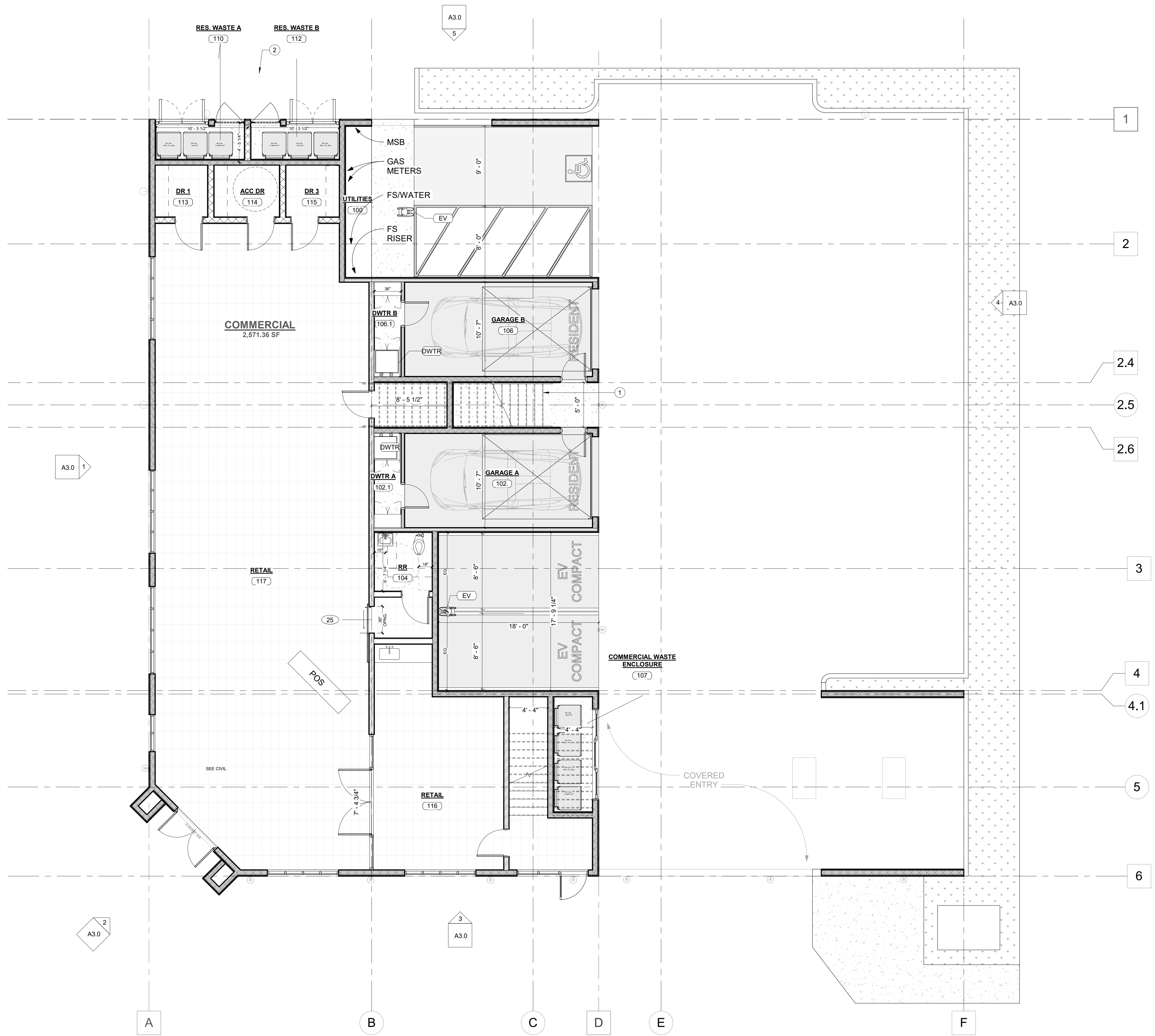
TOP STORY FLOOR AREA LIMIT: NO MORE THAN 40% PER 17.56-1
• 10992*40% = 4,396 SF MAX TOP STORY 3,202.78 < 4,396 = OK

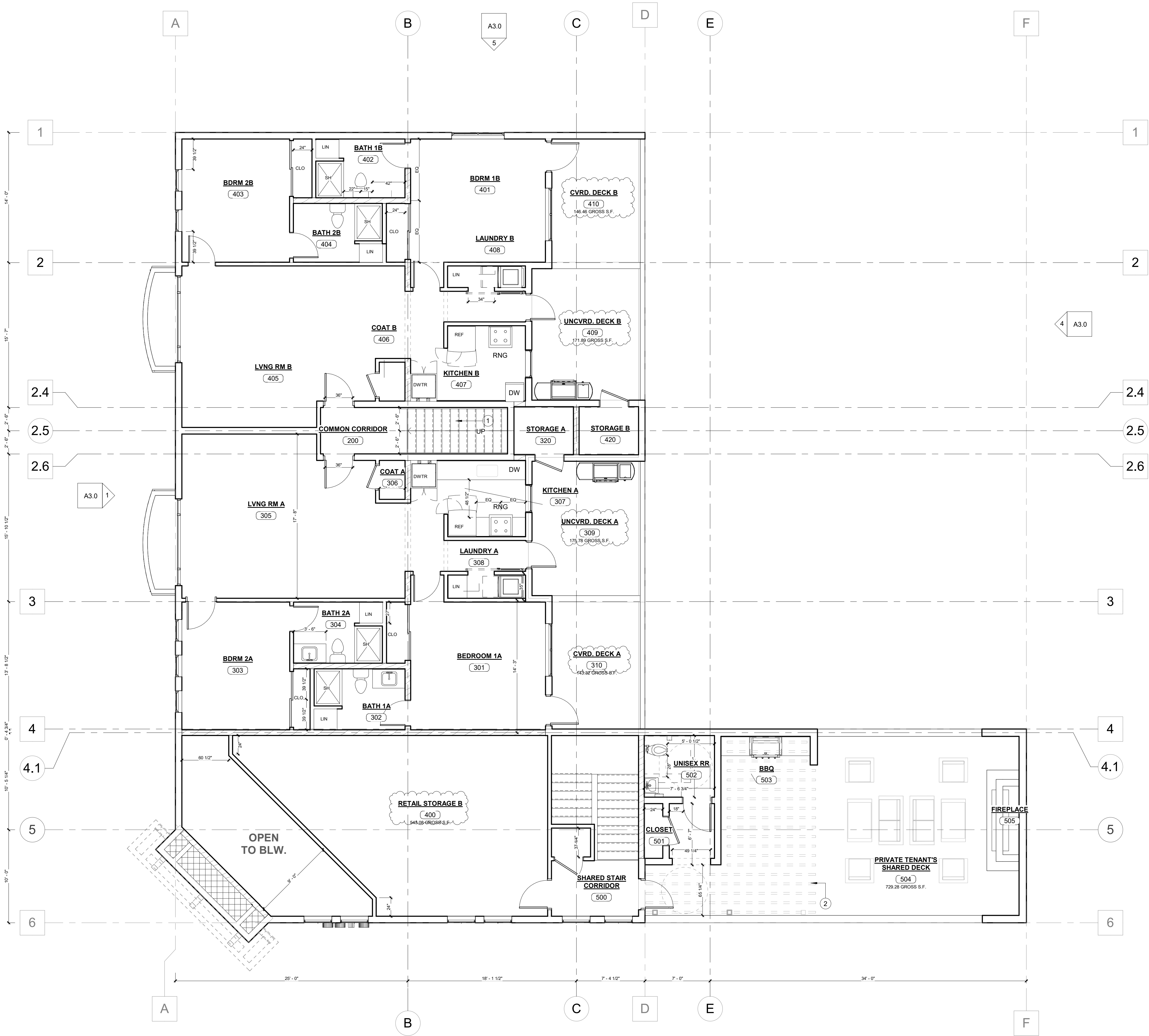
LAND / BLDG./F.A.R.: 0.53 / 1
BLDG. %: 52.5% = 5,774.2 SF/(10,992 SF)

OPEN SPACE: 15% * 10,992SF = 1,648.8SF

OPEN SPACE PER § 17.120.020 (B):
• SHARED OPEN SPACE: 773.84 SF [UNCVRD. DECK C]
• UNIT A (PRIVATE) OPEN SPACE: 208.26 SF
• UNIT B (PRIVATE) OPEN SPACE: 208.26 SF
• FIRST FLOOR OPEN SPACE: 3,974.94 SF



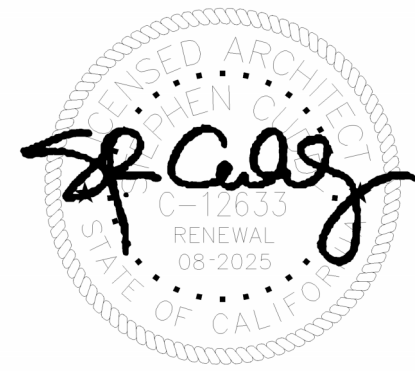


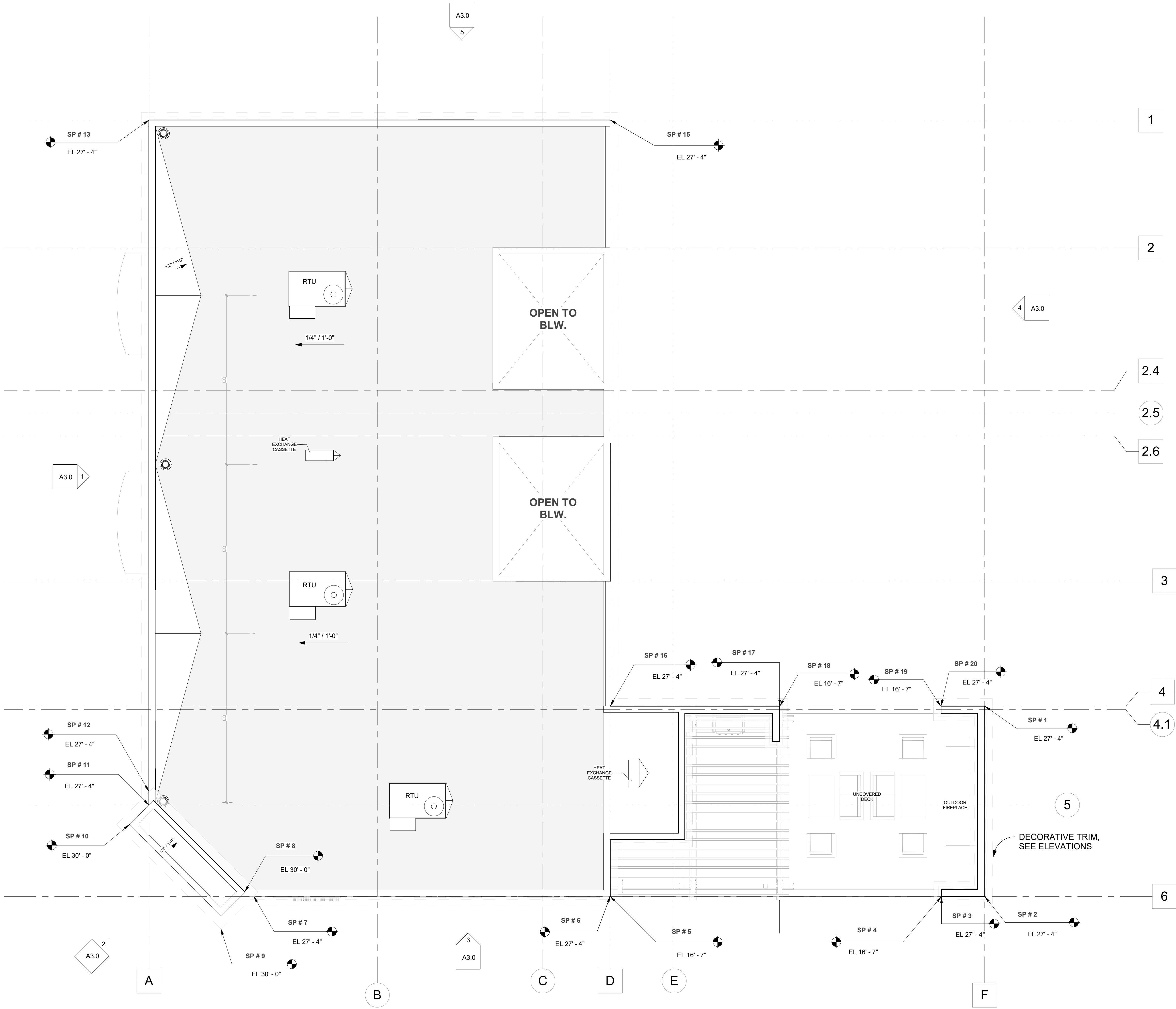


GENERAL NOTES

1. DO NOT SCALE DRAWINGS. PROCEED WITH RFI IF MORE INFORMATION IS NEEDED FOR CLARIFICATION. U.O.N., DIMENSIONS ARE TO BE TO COLUMN ϵ , FACE OF CMU, OUTSIDE FACE OF STUDS AT EXT. WALLS, AND ϵ OF STUDS AT INT. WALLS.

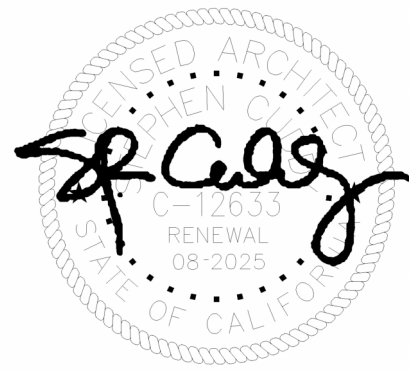
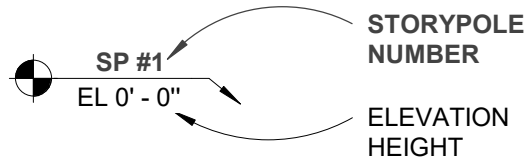
KEYNOTES

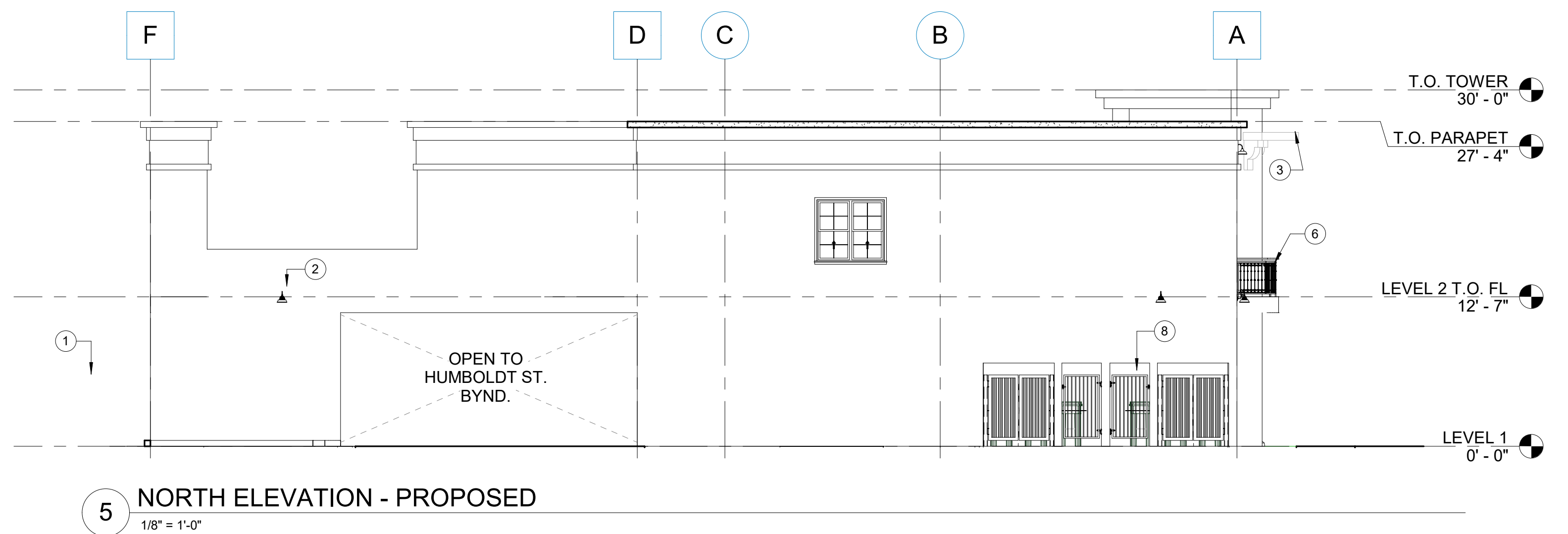
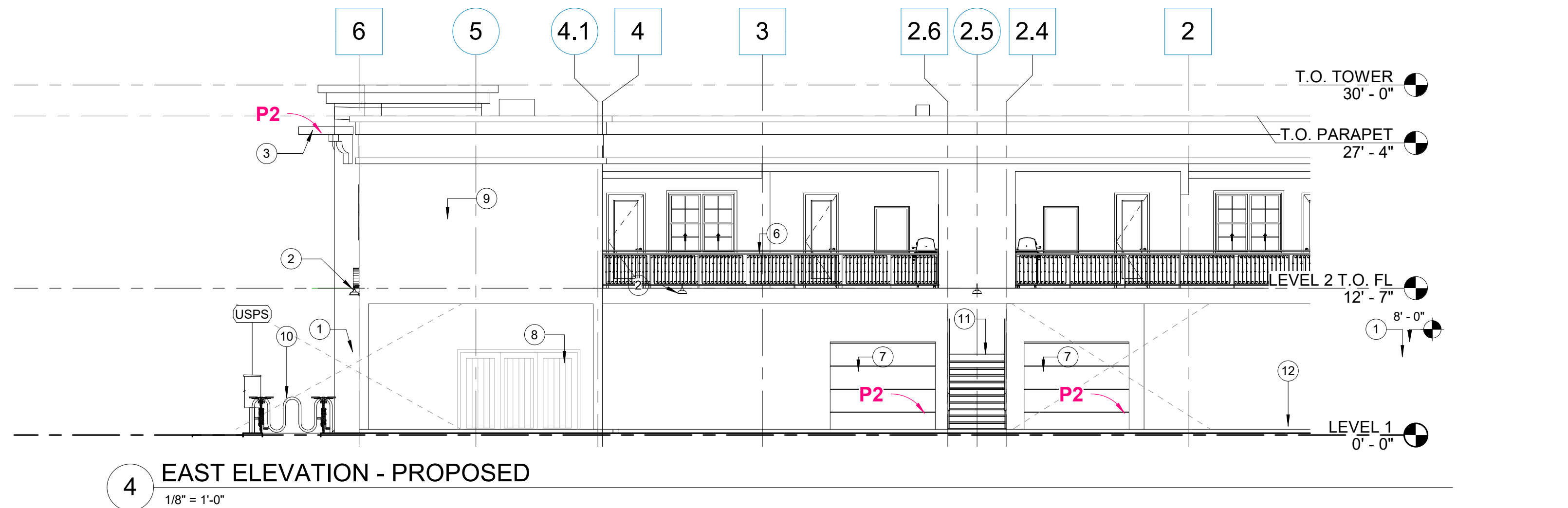
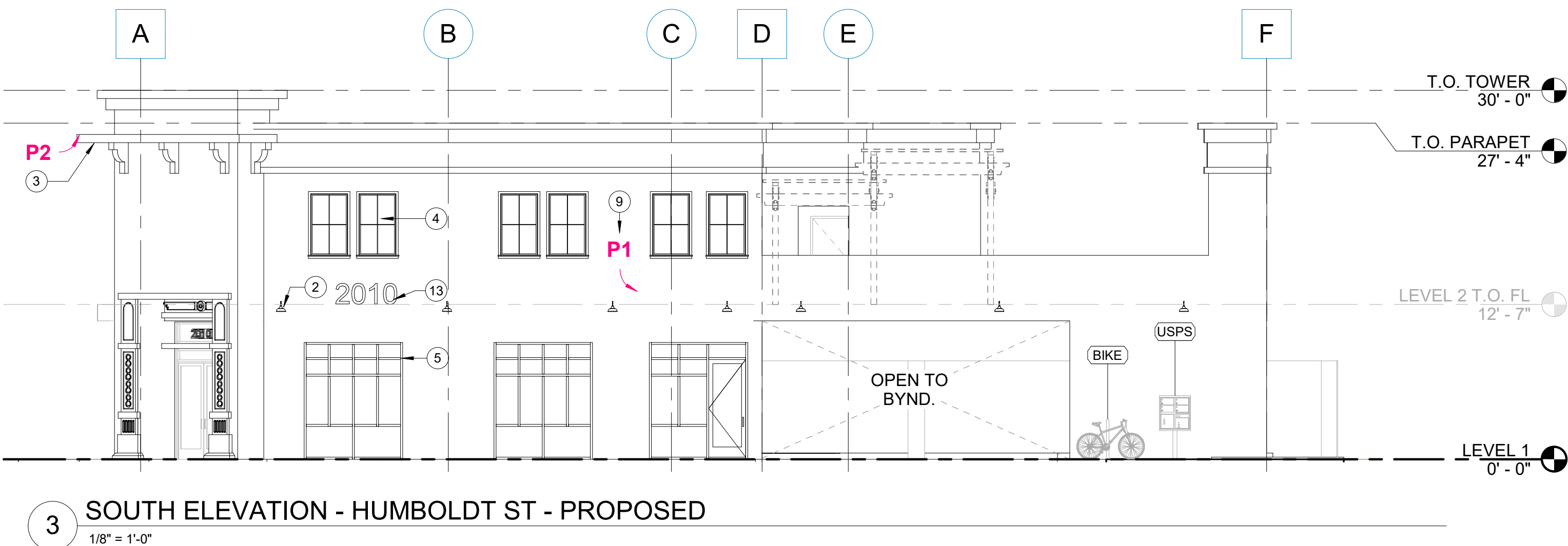
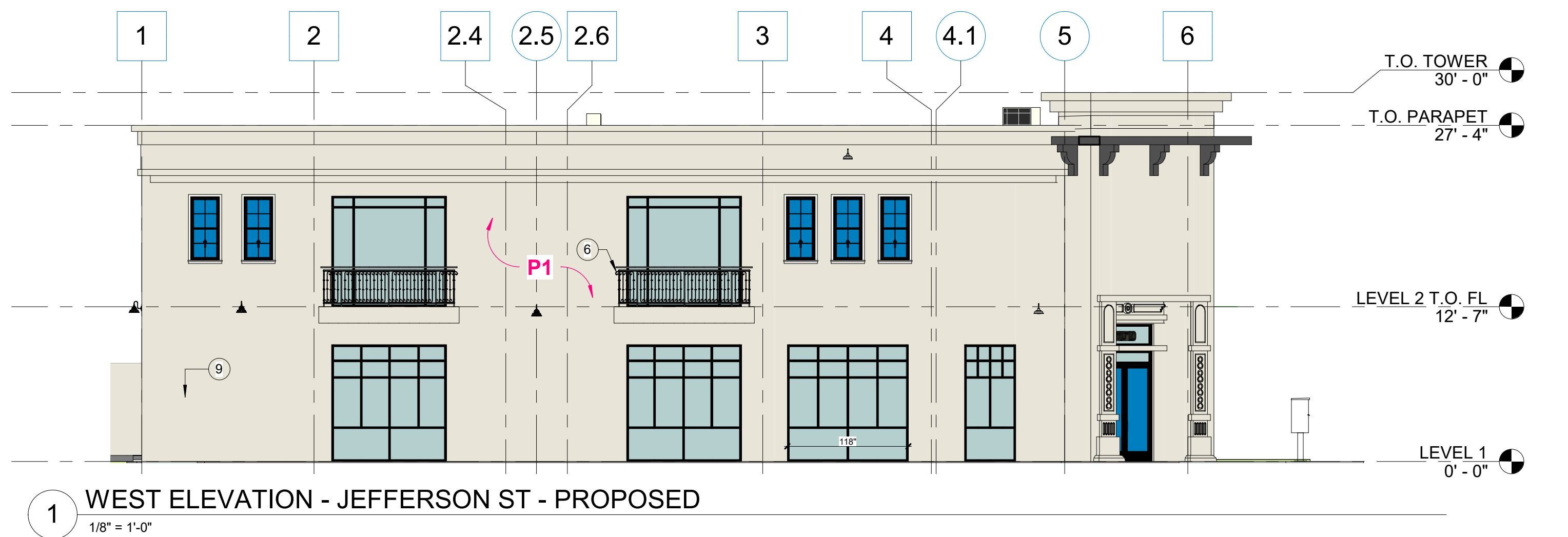




GENERAL NOTES

- DO NOT SCALE DRAWINGS, PROCEED WITH RFI IF MORE INFORMATION IS NEEDED FOR CLARIFICATION. U.O.N., DIMENSIONS ARE TO BE TO COLUMN ϵ , FACE OF CMU, OUTSIDE FACE OF STUDS AT EXT. WALLS, AND ϵ OF STUDS AT INT. WALLS.
- IN ACCORDANCE WITH 17.188.030(B), STORY POLE ANNOTATIONS HAVE BEEN ADDED TO DEMONSTRATE THE MASSING AND HEIGHT OF PROPOSED BUILDING TO BETTER CONCEPTUALIZE THE MASSING AND HEIGHT TO UNDERSTAND HOW THE PROPOSED BUILDING(S) RELATE WITHIN THE CONTEXT OF SURROUNDING STRUCTURES. IT IS THE INTENT THAT STORY POLES REASONABLY INDICATE BUILDING CORNERS, SETBACKS, OR OTHER PHYSICAL ASPECTS OF THE PROPOSAL. STORY POLES ARE INTENDED TO INDICATE THE SENSE OF MASS OF THE PROJECT. STORY POLES SHALL BE ERECTED PRIOR TO ANY SCHEDULED HEARING, AND AN ELEVATION SURVEY PREPARED BY A LICENSED SURVEYOR SHALL BE REQUIRED TO CERTIFY THE ACCURACY OF THE HEIGHTS AND LOCATIONS OF THE STORY POLES. STORY POLE HEIGHT TAGS ARE SHOWN AS FOLLOWS:





GENERAL NOTES

1. SEE MATERIAL SCHEDULE ON A4.0
2. DO NOT SCALE DRAWINGS, PROCEED WITH RFI IF MORE INFORMATION IS NEEDED FOR CLARIFICATION. U.O.N., DIMENSIONS ARE TO BE TO COLUMN 4, FACE OF CMU, OUTSIDE FACE OF STUDS AT EXT. WALLS, AND 4 OF STUDS AT INT. WALLS.
3. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
4. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
5. SIGNAGE UNDER SEPARATE PERMIT PER JURISDICTION REQUIREMENTS, CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH LANDLORD AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO ARCHITECT FOR APPROVAL.
6. EXTERIOR GLAZING UNITS FOR BOTH STOREFRONTS AND DOORS MUST HAVE A SOLAR HEAT GAIN COEFFICIENT (SHGC) OF NOT MORE THAN 0.27 AND A U-VALUE OF NOT MORE THAN 0.28. TINTING OR FILMS APPLIED AFTER THE GLASS IS INSTALLED IS PROHIBITED. PRIOR TO FINAL INSPECTION TENANT WILL BE REQUIRED TO SUBMIT DOCUMENTATION FROM THE MANUFACTURER FOR EACH TYPE OF STOREFRONT GLASS USED DEMONSTRATING THAT MEETS THESE CRITERIA.

KEYNOTES



N:\0_2023 Projects\23-023 Pacific Properties\Yountville MAREMIT 23 YOUNTVILLE\23-023_YOUNTVILLE Modals

23-023 YOUNTVILLE MIXED-USE A4.0

PARKING LOT LIGHTING

LIGHTING AS REQUESTED BY THE TOWN OF YOUNTVILLE



STOREFRONT SYSTEM

SF1 BLACK ANODIZED ALUMINUM STOREFRONT
MFR: VISTA WALL



SF1

COLORS

P1 BEHR - POLAR BEAR (YL-W15)
P2 BEHR - MATTE BLACK

NOTES: ALL EXTERIOR PAINT ACRYLIC LATEX, FLAT SHEEN
BLACK PAINT TO BE SATIN SHEEN



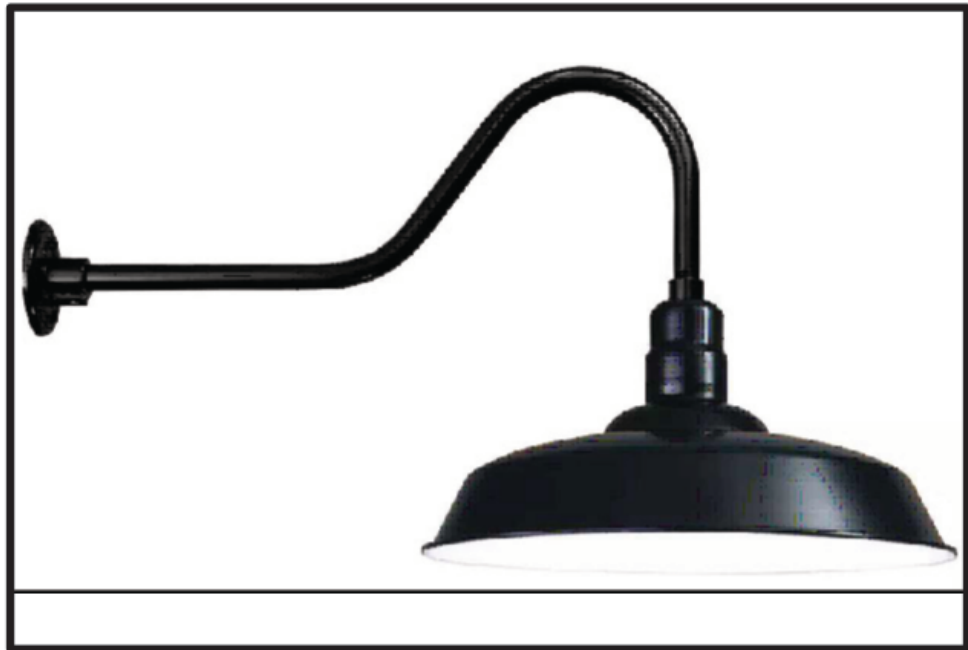
P1



P2

LIGHTING

L1 SPUN ALUMINUM SHADE WITH GOOSENECK
EXTENSION ARM
MFR: ANP LIGHTING
MODEL: W520-41-E6-41



L1

DECORATIVE FENCE

F1 DECORATIVE FENCE
MFR: CR-CRETE INC.
SPEC: PACIFICA - 8' DECORATIVE PRECAST FENCE
SYSTEM WITH SMOOTH COLUMNS
COLOR: PACIFICA



F1

EXTERIOR FINISH SCHEDULE

PAINT (P)			
(MK)	MATERIAL	MANUFACTURER	COLOR
P1	PAINT	BEHR	POLAR BEAR (YL-W15)
P2	PAINT	BEHR	SATIN BLACK
P3	-	-	-
STAIN (S)			
(MK)	MATERIAL	MANUFACTURER	COLOR
S1	STAIN	OLYMPIC	SOLID STAIN "IRON BANK"
METAL HARDWARE (MH)			
(MK)	MATERIAL	NOTES	
MH1	METAL	SATIN BLACK	
STOREFRONT SYSTEMS (SF)			
(MK)	MATERIAL	MANUFACTURER	COLOR
SF1	ALUMINUM	KAWNEER OR EQUAL	BLACK ANODIZED ALUMINUM WITH 1" INSULATED GLAZING. FINISH. 10" BOTTOM RAILS

GENERAL CONTRACTOR NOTE:
G.C. TO VERIFY ALL COLORS AND MATERIALS WITH OWNER PRIOR TO APPLICATION AND/OR ORDERING OF PRODUCTS.

BIKE RACK

B1 BIKE RACK
MFR: HIGHLAND
SPEC: 145-1438 STANDARD STYLE BIKE RACK
COLOR: BLACK



B1

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OWNER:

YOUNTVILLE PACIFIC,
LLC
PO BOX 2176 CHICO, CA
95927

PROJECT NAME:

YOUNTVILLE MIXED-USE
2010 & 2012 HUMBOLDT
ST. YOUNTVILLE CA

APN#: 036-054-022 & 023

SHEET NAME:

**MATERIALS &
FINISHES**

DESIGN PROFESSIONAL:



PROJECT NUMBER: 23-023

SUBMIT DATE: 2023-06-21

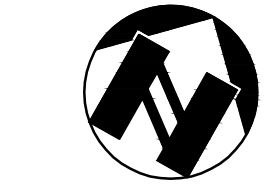
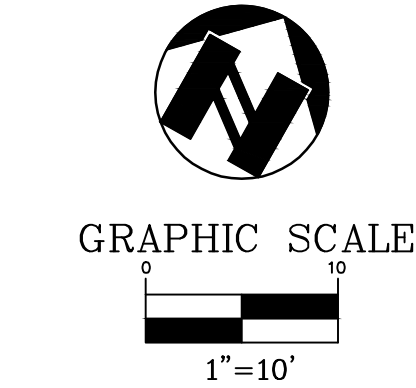
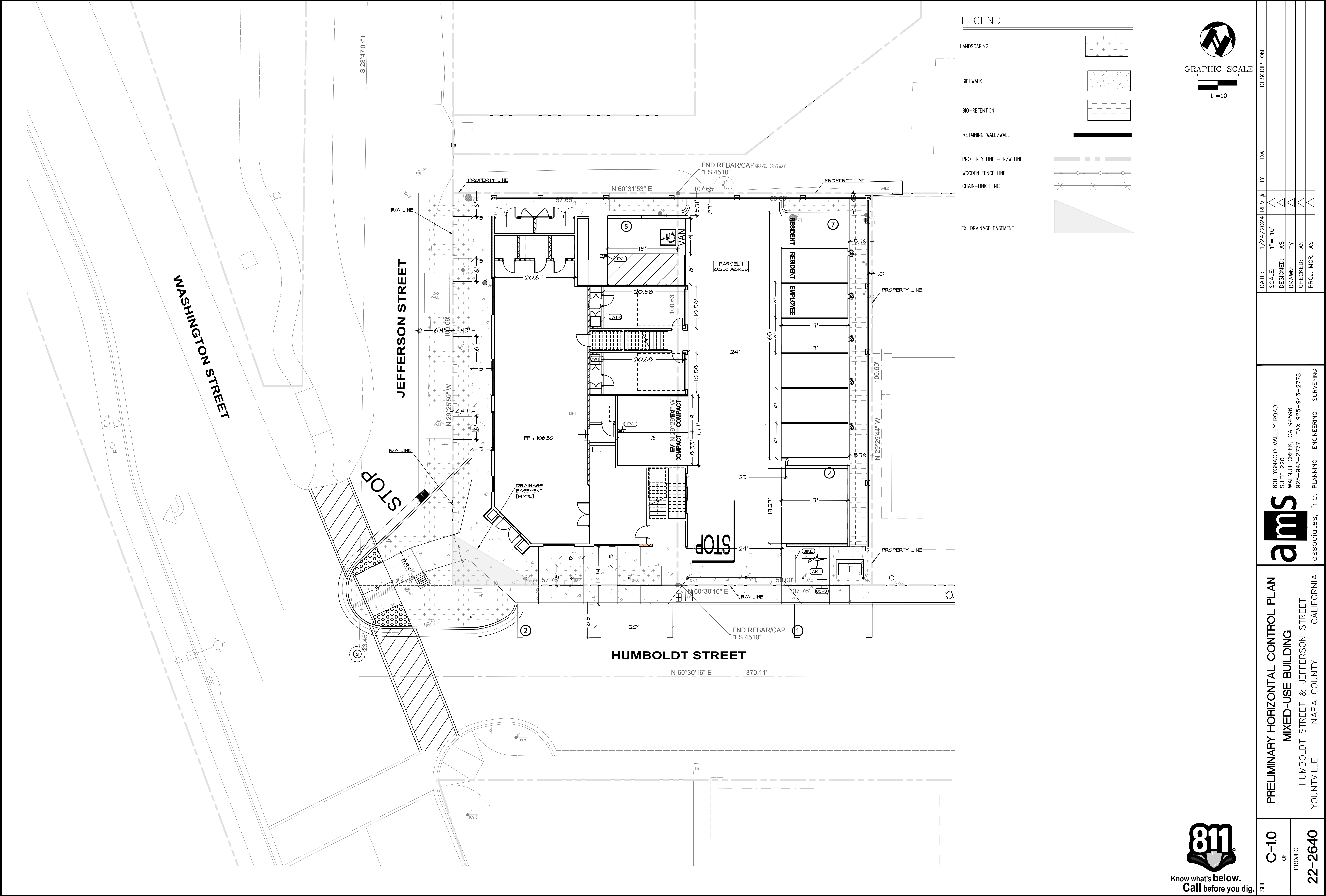
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REVISION SCHEDULE:

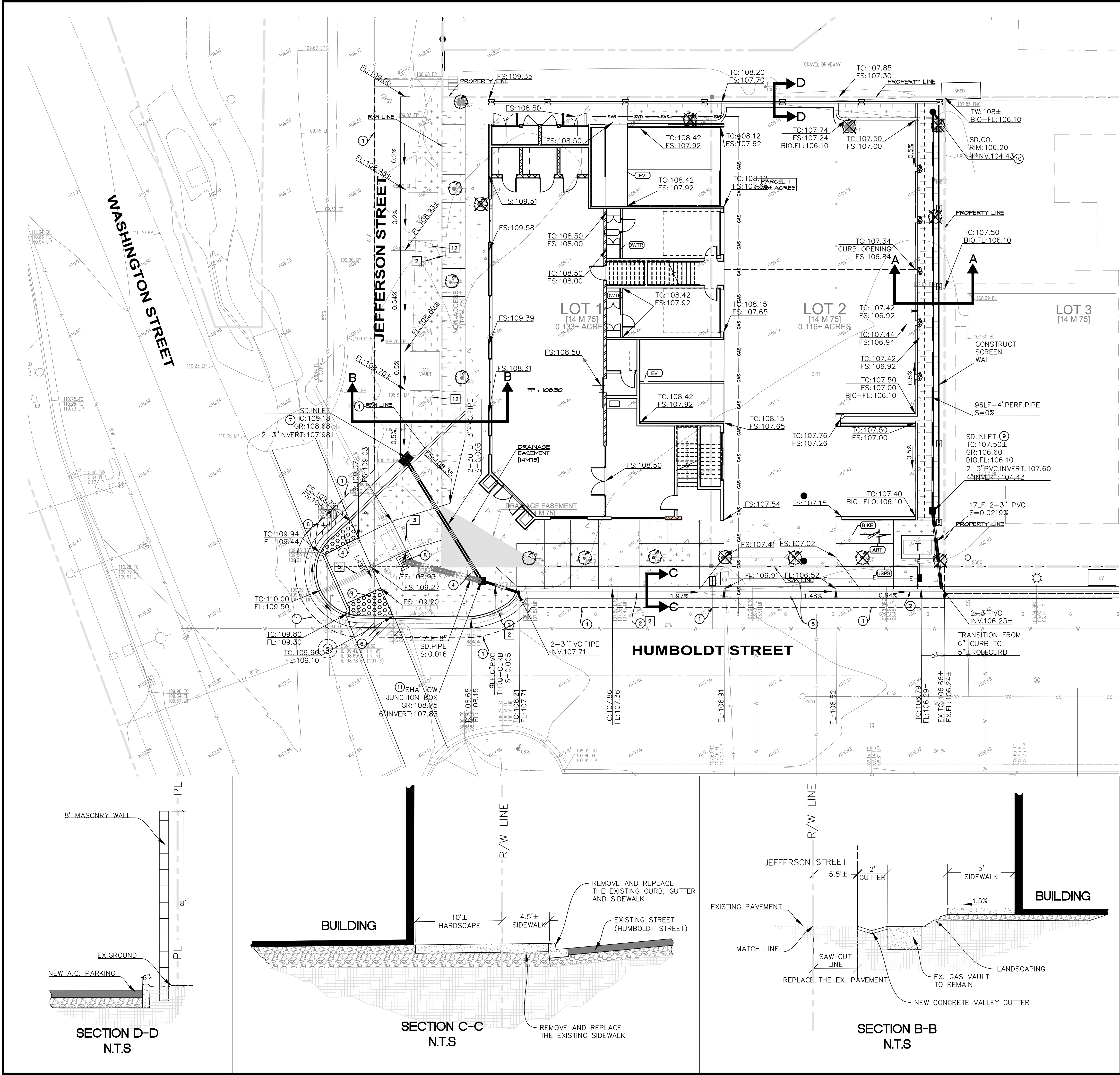
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PLANNING RESPONSE	23-11-30

A4.0

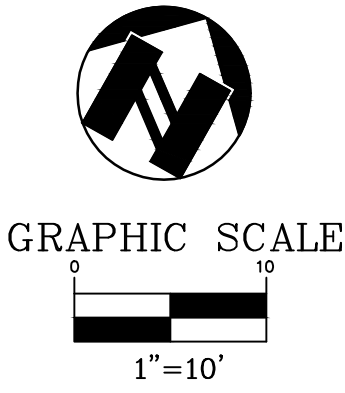
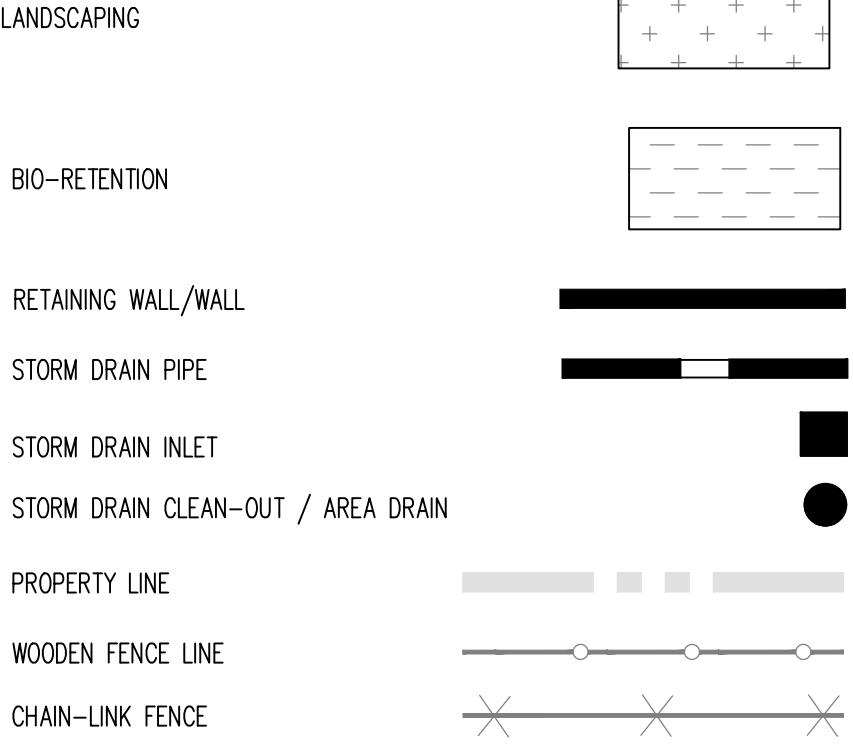
PLANNING



SHEET C-10 OF PROJECT 22-2640	PRELIMINARY HORIZONTAL CONTROL PLAN MIXED-USE BUILDING HUMBOLDT STREET & JEFFERSON STREET YOUNTVILLE NAPA COUNTY CALIFORNIA			ams associates, inc. PLANNING ENGINEERING SURVEYING 801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778		
	DATE: 1/24/2024	REV #	BY	DATE	DESCRIPTION	
	SCALE: 1" = 10'	△				
	DESIGNED: AS	△				
	DRAWN: TY	△				
	CHECKED: AS	△				
	PROJ. MGR: AS	△				



LEGEND



SECTION DETAILS

REMOVE TREES

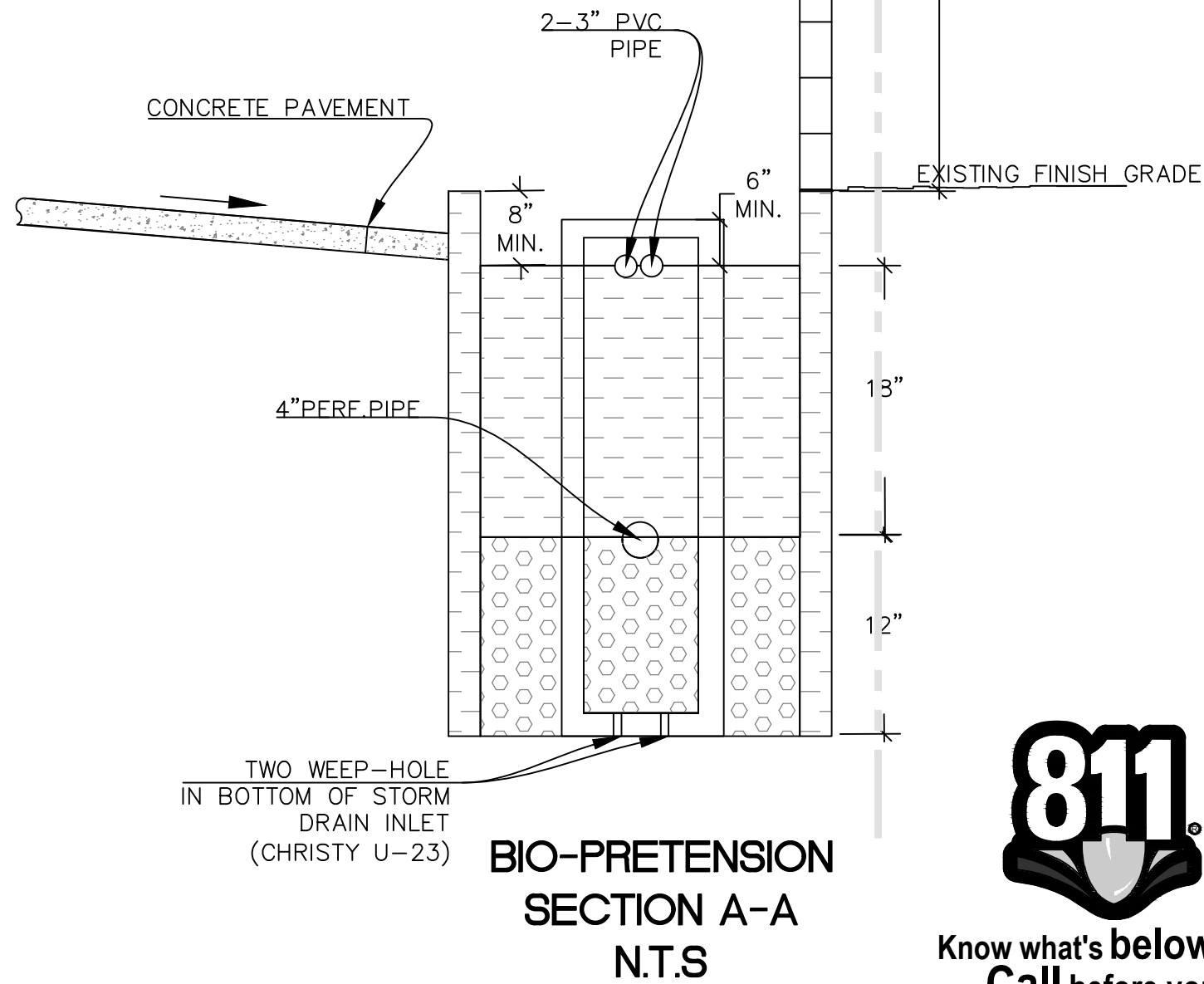
PROTECT TREES

CONSTRUCTION NOTES

- 1 SAW CUT (2' MIN.). REMOVE AND REPLACE THE EXISTING PAVEMENT WITH FULL DEPTH A.C., MATCH EXISTING.
- 2 CONSTRUCT CONCRETE CURB AND GUTTER PER THE CITY OF NAPA'S STANDARD & SPECIFICATIONS, STD. DRW. #S-1A.
- 3 CONSTRUCT CONCRETE SIDEWALK PER CITY OF NAPA'S STANDARDS & SPECIFICATIONS, STD. DRW. #S-4.
- 4 CONSTRUCT NEW ADA RAMPS WITH TRUNCATED DOMES (YELLOW) PER THE CITY OF NAPA'S STANDARDS AND SPECIFICATIONS.
- 5 CONSTRUCT CONCRETE DRIVEWAY PER THE CITY OF NAPA'S STD. DRW. #S-5.
- 6 REMOVE AND REPLACE THE EXISTING PAVERS (3' MIN.). THE COLOR, PATTERN AND SECTIONS SHALL MATCH THE EXISTING PAVERS.
- 7 CONSTRUCT SHALLOW STORM DRAIN INLET PER THE CITY OF NAPA'S STD. DRW. #D-2A.
- 8 ADJUST THE EXISTING STORM DRAIN INLET & REPLACE THE EX. GRATE W./SOLID LID.
- 9 CONSTRUCT STORM DRAIN INLET CHRISTY U-23.
- 10 CONSTRUCT STORM DRAIN CLEANOUT.
- 11 CONSTRUCT SHALLOW JUNCTION BOX.
- 12 THE EXISTING GAS POLES REMAIN AND PROTECTED DURING THE CONSTRUCTION.

DEMOLITION NOTES

- 1 REMOVE THE EXISTING STORM DRAIN INLET AND PIPES.
- 2 REMOVE THE EXISTING CURB.
- 3 RELOCATE THE EXISTING ARTWORK AND REMOVE THE CONCRETE PAD.
- 4 RELOCATE THE EXISTING MAIL BOXES.
- 5 REMOVE THE EXISTING ADA RAMPS.

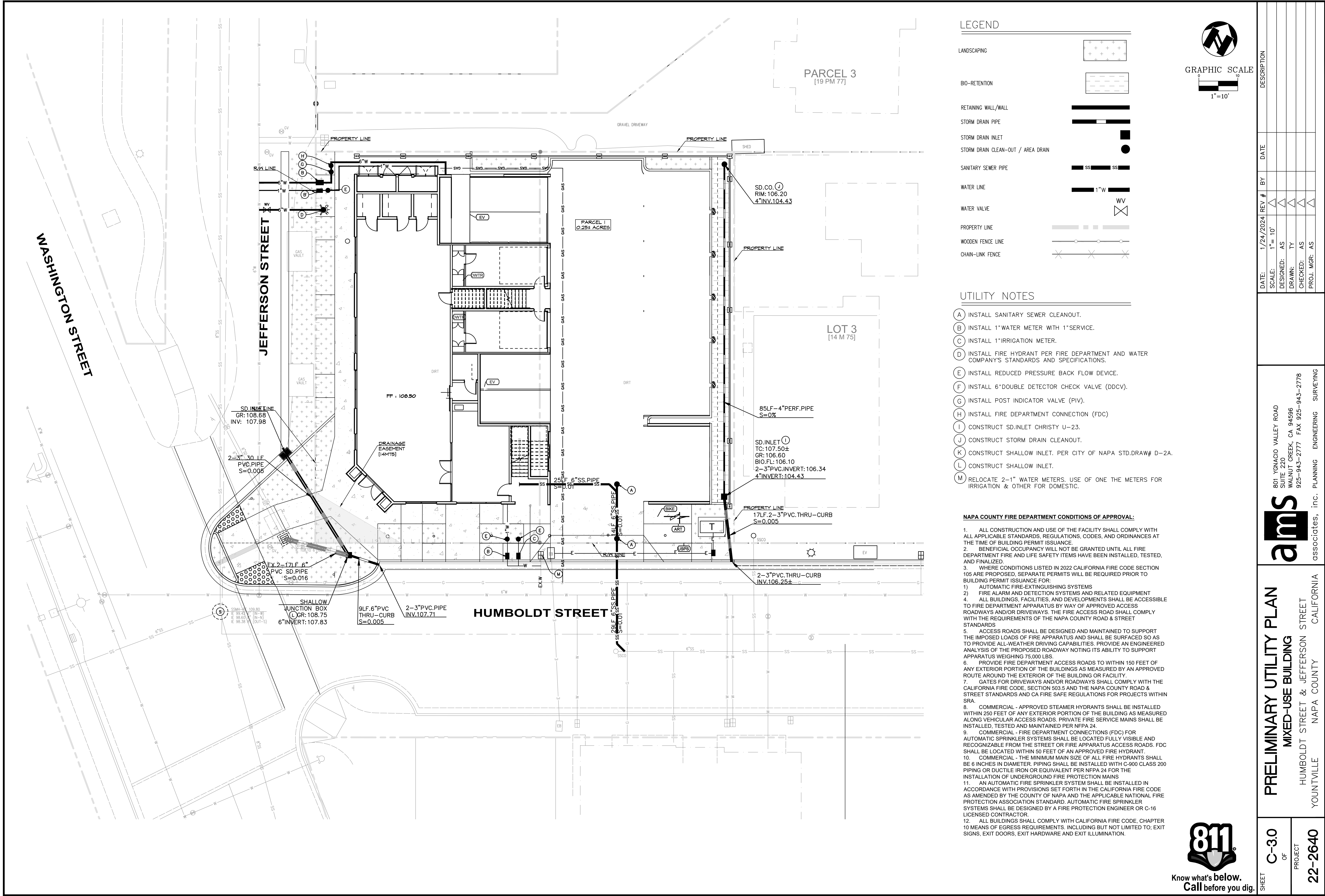


DESCRIPTION		DATE	BY	REV #
DATE:	1/24/2024	REV #	△	△
SCALE:	1" = 10'	DESIGNED:	AS	△
		DRAWN:	TY	△
		CHECKED:	AS	△
		PROJ. MGR:	AS	△

PRELIMINARY GRADING PLAN		801 YGNACIO VALLEY ROAD
MIXED-USE BUILDING		SUITE 220
HUMBOLDT STREET & JEFFERSON STREET		WALNUT CREEK, CA 94596
YOUNTVILLE		925-943-2777 FAX 925-943-2778
NAPA COUNTY		PLANNING ENGINEERING SURVEYING
CALIFORNIA		

SHEET	C-2.0
OF	
PROJECT	22-2640

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LEGEND

LANDSCAPING	
BIO-RETENTION	
RETAINING WALL/WALL	
STORM DRAIN PIPE	
STORM DRAIN INLET	
STORM DRAIN CLEAN-OUT / AREA DRAIN	
SANITARY SEWER PIPE	
WATER LINE	
WATER VALVE	
PROPERTY LINE	
WOODEN FENCE LINE	
CHAIN-LINK FENCE	

UTILITY NOTES

- A

INSTALL SANITARY SEWER CLEANOUT.
- B

INSTALL 1" WATER METER WITH 1" SERVICE.
- C

INSTALL 1" IRRIGATION METER.
- D

INSTALL FIRE HYDRANT PER FIRE DEPARTMENT AND WATER COMPANY'S STANDARDS AND SPECIFICATIONS.
- E

INSTALL REDUCED PRESSURE BACK FLOW DEVICE.
- F

INSTALL 6" DOUBLE DETECTOR CHECK VALVE (DDCV).
- G

INSTALL POST INDICATOR VALVE (PIV).
- H

INSTALL FIRE DEPARTMENT CONNECTION (FDC)
- I

CONSTRUCT SD INLET CHRISTY U-23.
- J

CONSTRUCT STORM DRAIN CLEANOUT.
- K

CONSTRUCT SHALLOW INLET. PER CITY OF NAPA STD.DRAW# D-2A.
- L

CONSTRUCT SHALLOW INLET.
- M

RELOCATE 2-1" WATER METERS. USE OF ONE THE METERS FOR IRRIGATION & OTHER FOR DOMESTIC.

NAPA COUNTY FIRE DEPARTMENT CONDITIONS OF APPROVAL:

1.

ALL CONSTRUCTION AND USE OF THE FACILITY SHALL COMPLY WITH ALL APPLICABLE STANDARDS, REGULATIONS, CODES, AND ORDINANCES AT THE TIME OF BUILDING PERMIT ISSUANCE.
2.

BENEFICIAL OCCUPANCY WILL NOT BE GRANTED UNTIL ALL FIRE DEPARTMENT FIRE AND LIFE SAFETY ITEMS HAVE BEEN INSTALLED, TESTED, AND FINALIZED.
3.

WHERE CONDITIONS LISTED IN 2022 CALIFORNIA FIRE CODE SECTION 105 ARE PROPOSED, SEPARATE PERMITS WILL BE REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE FOR:

1)

AUTOMATIC FIRE-EXTINGUISHING SYSTEMS

2)

FIRE ALARM AND DETECTION SYSTEMS AND RELATED EQUIPMENT

4.

ALL BUILDINGS, FACILITIES, AND DEVELOPMENTS SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF APPROVED ACCESS ROADWAYS AND/OR DRIVEWAYS. THE FIRE ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THE NAPA COUNTY ROAD & STREET STANDARDS

5.

ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. PROVIDE AN ENGINEERED ANALYSIS OF THE PROPOSED ROADWAY NOTING ITS ABILITY TO SUPPORT APPARATUS WEIGHING 75,000 LBS.

6.

PROVIDE FIRE DEPARTMENT ACCESS ROADS TO WITHIN 150 FEET OF ANY EXTERIOR PORTION OF THE BUILDINGS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.

7.

GATES FOR DRIVEWAYS AND/OR ROADWAYS SHALL COMPLY WITH THE CALIFORNIA FIRE CODE, SECTION 503.5 AND THE NAPA COUNTY ROAD & STREET STANDARDS AND CA FIRE SAFE REGULATIONS FOR PROJECTS WITHIN SRA.

8.

COMMERCIAL - APPROVED STEAMER HYDRANTS SHALL BE INSTALLED WITHIN 250 FEET OF ANY EXTERIOR PORTION OF THE BUILDING AS MEASURED ALONG VEHICULAR ACCESS ROADS. PRIVATE FIRE SERVICE MAINS SHALL BE INSTALLED, TESTED AND MAINTAINED PER NFPA 24.

9.

COMMERCIAL - FIRE DEPARTMENT CONNECTIONS (FDC) FOR AUTOMATIC SPRINKLER SYSTEMS SHALL BE LOCATED FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET OR FIRE APPARATUS ACCESS ROADS. FDC SHALL BE LOCATED WITHIN 50 FEET OF AN APPROVED FIRE HYDRANT.

10.

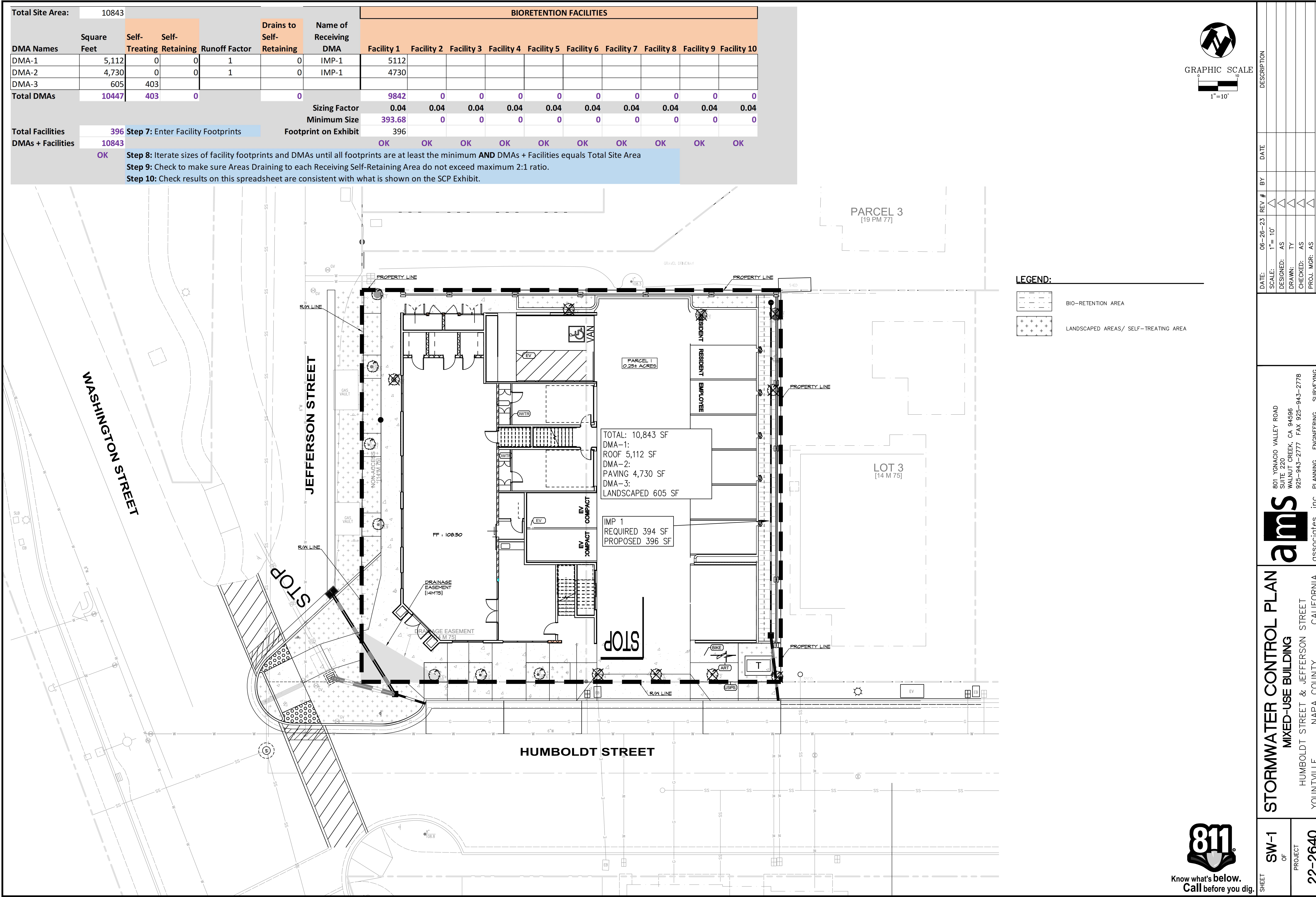
COMMERCIAL - THE MINIMUM MAIN SIZE OF ALL FIRE HYDRANTS SHALL BE 6 INCHES IN DIAMETER. PIPING SHALL BE INSTALLED WITH C-900 CLASS 200 PIPING OR DUCTILE IRON OR EQUIVALENT PER NFPA 24 FOR THE INSTALLATION OF UNDERGROUND FIRE PROTECTION MAINS

11.

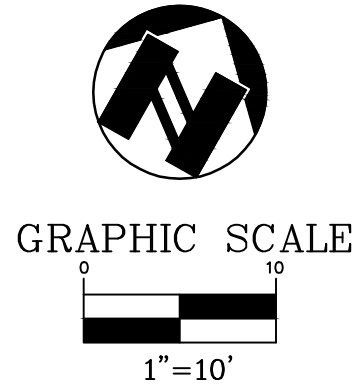
AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH PROVISIONS SET FORTH IN THE CALIFORNIA FIRE CODE AS AMENDED BY THE COUNTY OF NAPA AND THE APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD. AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED BY A FIRE PROTECTION ENGINEER OR C-16 LICENSED CONTRACTOR.

12.

ALL BUILDINGS SHALL COMPLY WITH CALIFORNIA FIRE CODE, CHAPTER 10 MEANS OF EGRESS REQUIREMENTS, INCLUDING BUT NOT LIMITED TO; EXIT SIGNS, EXIT DOORS, EXIT HARDWARE AND EXIT ILLUMINATION.
-
- GRAPHIC SCALE
-
- | | | | | | | | | | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------|-------|----|---------|-------------------------------------------------------------------------------------------------|-----------|------------|----|--|--|--|
| SHEET | C-3.0 | OF | PROJECT | DESCRIPTION | | | | | | |
| | | | | DATE: | 1/24/2024 | REV # | BY | | | |
| PRELIMINARY UTILITY PLAN
MIXED-USE BUILDING
HUMBOLDT STREET & JEFFERSON STREET
YOUNTVILLE NAPA COUNTY CALIFORNIA | | | | SCALE: | 1"= 10' | DESIGNED: | AS | | | |
| | | | | | | DRAWN: | TY | | | |
| | | | | | | CHECKED: | AS | | | |
| | | | | | | PROJ. MGR: | AS | | | |
| 22-2640 | | | | 801 YGNACIO VALLEY ROAD
SUITE 220
WALNUT CREEK, CA 94596
925-943-2777 FAX 925-943-2778 | | | | | | |
| | | | | ams
associates, inc. PLANNING ENGINEERING SURVEYING | | | | | | |
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Total Site Area:		10843				BIORETENTION FACILITIES										
					Drains to Self-Retaining	Name of Receiving DMA										
DMA Names	Square Feet	Self-Treating	Self-Retaining	Runoff Factor			Facility 1	Facility 2	Facility 3	Facility 4	Facility 5	Facility 6	Facility 7	Facility 8	Facility 9	Facility 10
DMA-1	5,112	0	0	1		IMP-1	5112									
DMA-2	4,730	0	0	1		IMP-1	4730									
DMA-3	605	403														
Total DMAs	10447	403	0		0		9842	0	0	0	0	0	0	0	0	0
							Sizing Factor	0.04	0.04	0.04	0.04	0.04	0.04	0.04	0.04	0.04
							Minimum Size	393.68	0	0	0	0	0	0	0	0
Total Facilities	396	Step 7: Enter Facility Footprints				Footprint on Exhibit	396									
DMAs + Facilities	10843						OK	OK	OK	OK	OK	OK	OK	OK	OK	OK
OK		Step 8: Iterate sizes of facility footprints and DMAs until all footprints are at least the minimum AND DMAs + Facilities equals Total Site Area														
		Step 9: Check to make sure Areas Draining to each Receiving Self-Retaining Area do not exceed maximum 2:1 ratio.														
		Step 10: Check results on this spreadsheet are consistent with what is shown on the SCP Exhibit.														



- LEGEND:
- BIO-RETENTION AREA
 - LANDSCAPED AREAS/ SELF-TREATING AREA

811

Know what's below.
Call before you dig.

STORMWATER CONTROL PLAN

MIXED-USE BUILDING

HUMBOLDT STREET & JEFFERSON STREET

YOUNTVILLE NAPA COUNTY CALIFORNIA

SW-1

OF

PROJECT

22-2640

DATE: 06-26-23

SCALE: 1"= 10'

DESIGNED: AS

DRAWN: TY

CHECKED: AS

PROJ. MGR: AS

DESCRIPTION

DATE

BY

REV #

801 YGNACIO VALLEY ROAD

SUITE 220

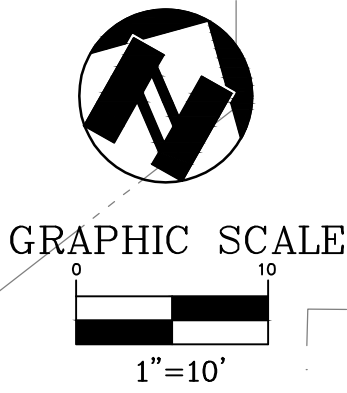
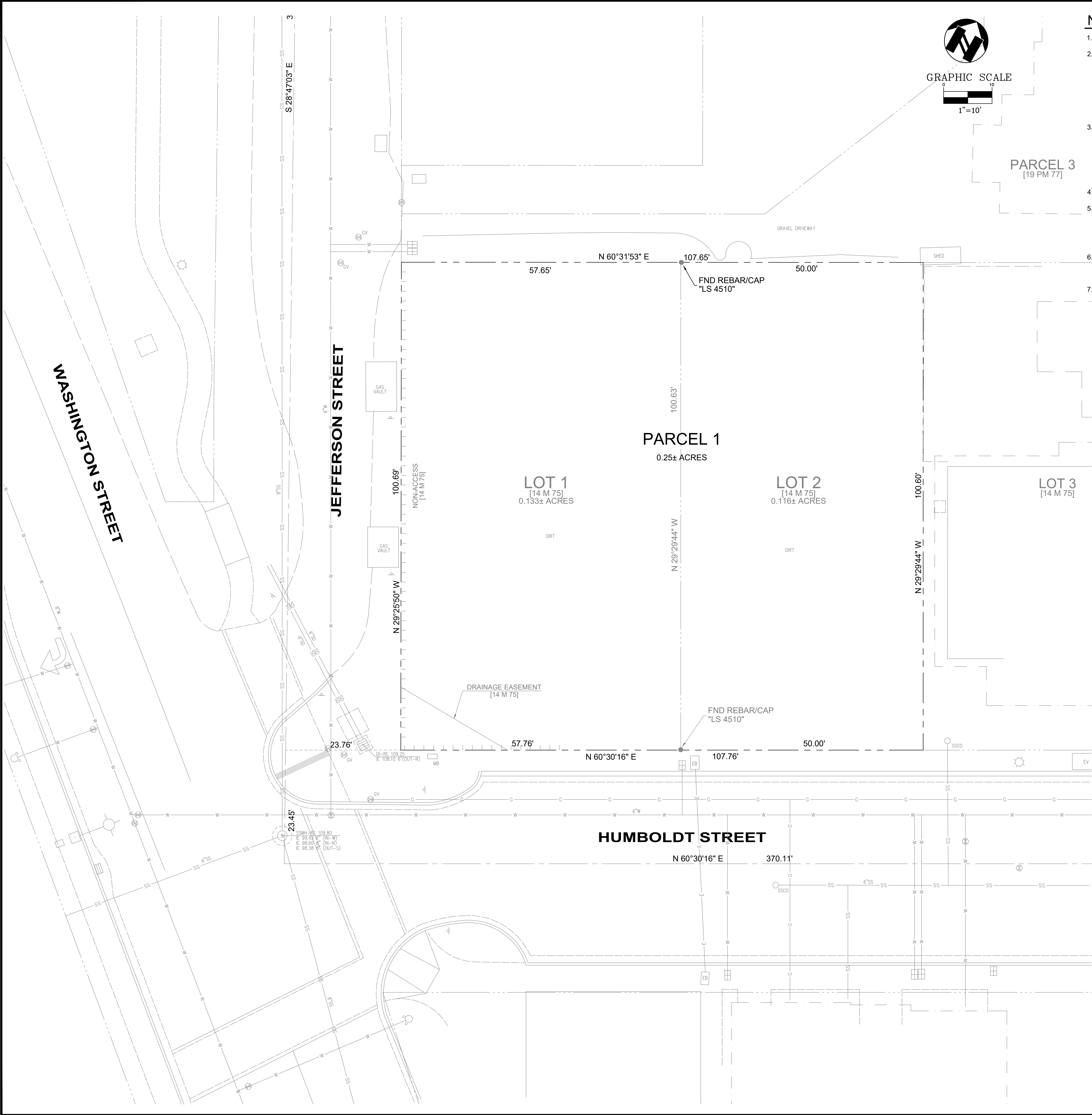
WALNUT CREEK, CA 94596

925-943-2777

FAX 925-943-2778

associates, inc. PLANNING ENGINEERING SURVEYING

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NOTES

- All distances shown hereon are in U.S. Survey feet and decimals thereof.
- This boundary and easements shown on this survey was based solely on the following recorded documents:

Final Map of Whitton Place filed for record on August 20th, 1985 in Book 14 of Maps at Pages 74-76, Napa County Records.

No liability is assumed for matters of record not shown on said document that may affect the boundary lines, exceptions, or easements affecting the property.
- The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
- A.P.N.: 036-054-022 and 036-054-023
- Basis of Bearings:
The bearing of North 60°34'50" East taken on the centerline of Webber Street as shown on that certain Final Map of Whitton Place filed for record on August 20th, 1985 in Book 14 of Maps at Pages 74-76, Napa County Records was taken as the Basis of All Bearings shown hereon.
- Benchmark:
NGS Monument "E 468 Reset":
Elevation: 106.4 feet (GPS Observed) (Datum) NAVD 1988

Flood Zone Note:
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060205 0413 E, dated September 26, 2008, as being located in Flood Zone "X";

Areas of determined to be outside the 0.2% annual chance flood.

Information was obtained from the FEMA website (www.fema.gov) on July 11, 2022.

LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	----
CENTERLINE	----
EASEMENT	----
NON-ACCESS	----
BUILDING LINE W/ DOOR	----
BUILDING OVERHANG	----
FOUND MONUMENT AS NOTED	●
FOUND IRON PIPE OR AS NOTED	●
BOLLARD LIGHT	●
LIGHT	●
STREET LIGHT	●
TRAFFIC SIGNAL POLE	●
TRANSFORMER	●
FIRE HYDRANT	●
STORM DRAIN MANHOLE	●
SANITARY SEWER MANHOLE	●
CLEAN OUT	●
GAS METER	●
VALVE	●
CATCH BASIN / DROP INLET	●
WATER METER	●
BACK FLOW PREVENTER	●
UTILITY BOX (SIZE VARIES)	●
SIGN	●
RECORD INFORMATION W/ REFERENCE	●
TREE W/ SIZE AND ELEVATION	●
SPOT ELEVATION	●
CONTOUR	●
INDEX CONTOUR	●
CURB	●
CURB & GUTTER	●
CONCRETE	●
FENCE	●
RETAINING WALL	●
EDGE OF PAVEMENT	●
SANITARY SEWER	●
STORM DRAIN	●
WATER	●
GAS	●
UNDERGROUND ELECTRIC	●

ABBREVIATIONS

BL	BUILDING	GV	GAS VALVE
BRC	BACK OF ROLLED CURB	LIP	LIP OF GUTTER
DI	DROP INLET	MB	MAIL BOX
EB	ELECTRIC BOX	IE	INVERT ELEVATION
EP	EDGE OF PAVEMENT	RE	RIM ELEVATION
EV	ELECTRIC VAULT	SLB	STREET LIGHT BOX
FL	FLOW LINE	SSCO	SANITARY SEWER CLEAN OUT
FNC	FENCE	SSMH	SANITARY SEWER MANHOLE
		TC	TOP OF CURB

PROJECT NARRATIVE

THE PROPOSED SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET.SEQ. FOR THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO SUBDIVISION MAP ACT.

THE PROJECT PROPOSES EIGHT CONDOS. THE PROJECT CONSIST OF CONSTRUCTION OF TWO STORY MIX USE BUILDING WITH PARKING LOT, UTILITIES, STORM DRAIN LINES, LANDSCAPING AND IRRIGATION. NO ADDITIONAL IMPROVEMENTS HAVE BEEN PROPOSED. ADDITIONALLY PROJECT REQUIRES CONSTRUCTION OF STRET IMPROVEMENTS ON CITY'S RIGHT-OF-WAY.

THE MAINTENANCE OF PRIVATE WATER, SEWER AND OTHER UTILITIES TO SERVE THE PROPERTY SHALL BE GOVERNED BY PRIVATE COVENANTS, CONDITIONS AND RESTRICTIONS.

TOTAL SQUARE FOOT OF BUILDING IS 6,807±. CURRENTLY THERE IS AN EXISTING WALL SHOWN ON THE MAP THAT DIVIDES THE COMMERCIAL TENANTS.

PARKING NOTES

A TOTAL OF 14 PARKING SPACES INCLUDING
1 VAN-ADA SPACES ARE PROVIDED.

SITE ADDRESS

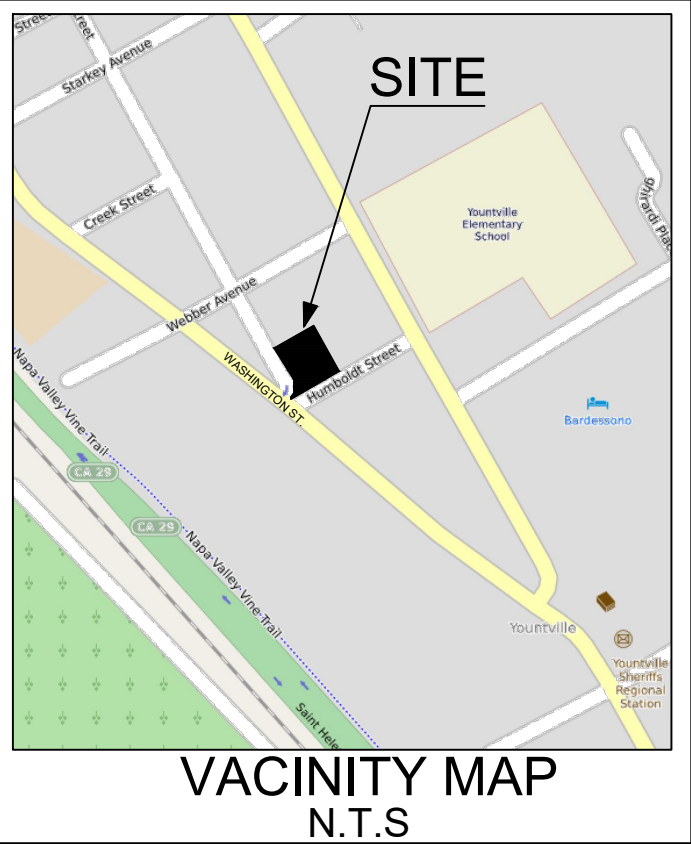
2010-2012 HUMBOLDT STREET
YOUNTVILLE, CA



APPLICANT/OWNER

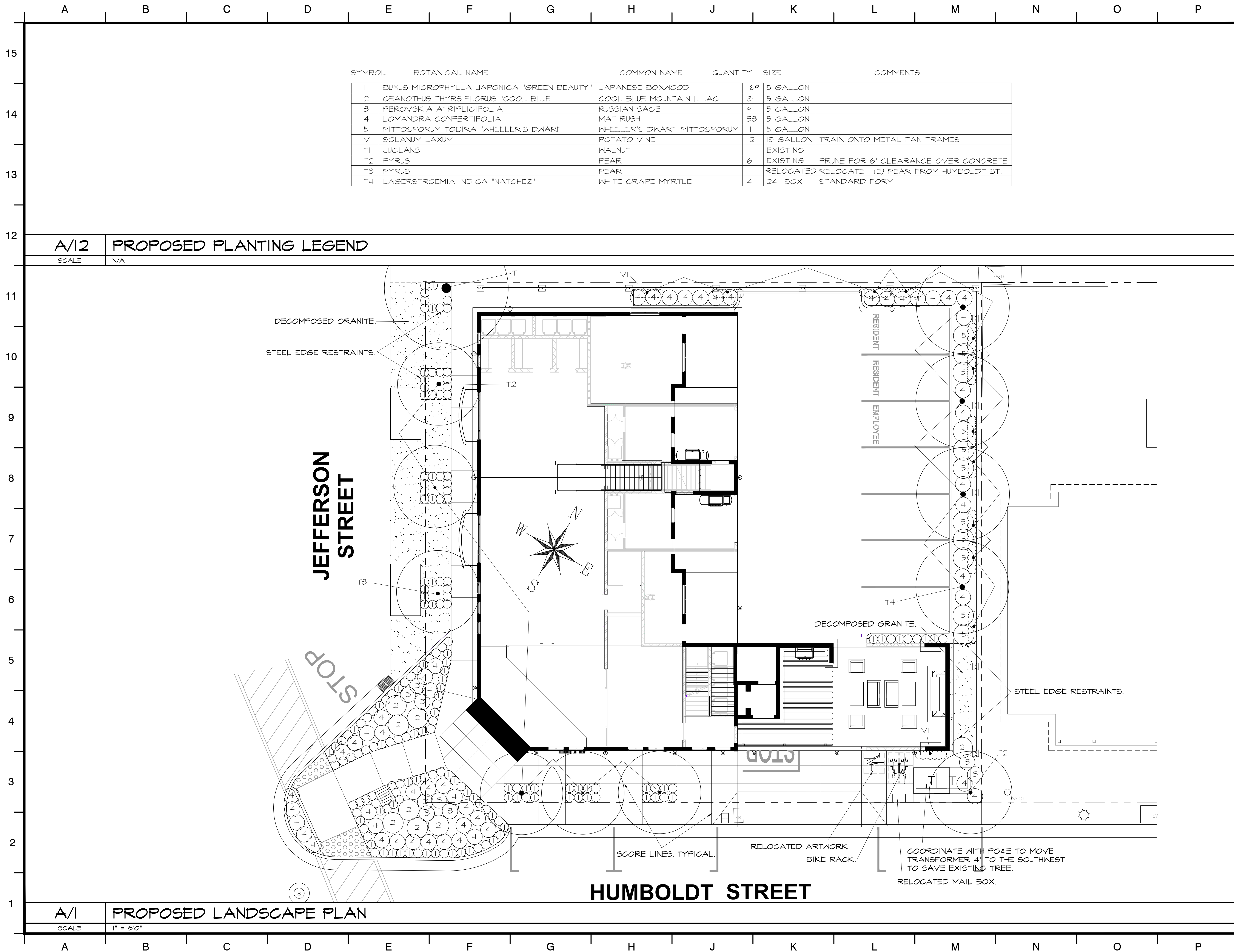
YOUNTVILLE PACIFIC LLC.
P.O.BOX 2176
CHICO,CA 95927

PROFESSIONAL ENGINEER

FARHAD IRANITALAB
EXPIRES 6/30/2024



SHEET	TPM	TENTATIVE PARCEL MAP MIXED-USE BUILDING	801 YONACIO VALLEY ROAD SUITE 200 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778		associates, inc.	PLANNING	ENGINEERING	SURVEYING		DATE:	1/24/2024	REV #	BY	DESCRIPTION
	OF									PROJECT	SCALE:	1"= 10'	DESIGNED:	AS
	22-2640													



SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	COMMENTS
1	BUXUS MICROPHYLLA JAPONICA "GREEN BEAUTY"	JAPANESE BOXWOOD	169	5 GALLON	
2	CEANOTHUS THYRSIFLORUS "COOL BLUE"	COOL BLUE MOUNTAIN LILAC	8	5 GALLON	
3	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	9	5 GALLON	
4	LOMANDRA CONFERTIFOLIA	MAT RUSH	53	5 GALLON	
5	PITTOSPORUM TOBIRA "WHEELER'S DWARF"	WHEELER'S DWARF PITTOSPORUM	11	5 GALLON	
VI	SOLANUM LAXUM	POTATO VINE	12	15 GALLON	TRAIN ONTO METAL FAN FRAMES
T1	JUGLANS	WALNUT	1	EXISTING	
T2	PYRUS	PEAR	6	EXISTING	PRUNE FOR 6' CLEARANCE OVER CONCRETE
T3	PYRUS	PEAR	1	RELOCATED	RELOCATE 1 (E) PEAR FROM HUMBOLDT ST.
T4	LAGERSTROEMIA INDICA "NATCHEZ"	WHITE GRAPE MYRTLE	4	24" BOX	STANDARD FORM

A/12 PROPOSED PLANTING LEGEND
SCALE N/A

A/1 PROPOSED LANDSCAPE PLAN
SCALE 1" = 8'0"

REVISIONS	DATE

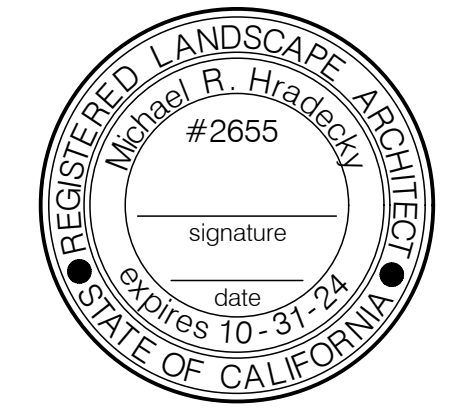
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ALPINE
LANDSCAPE
INC.

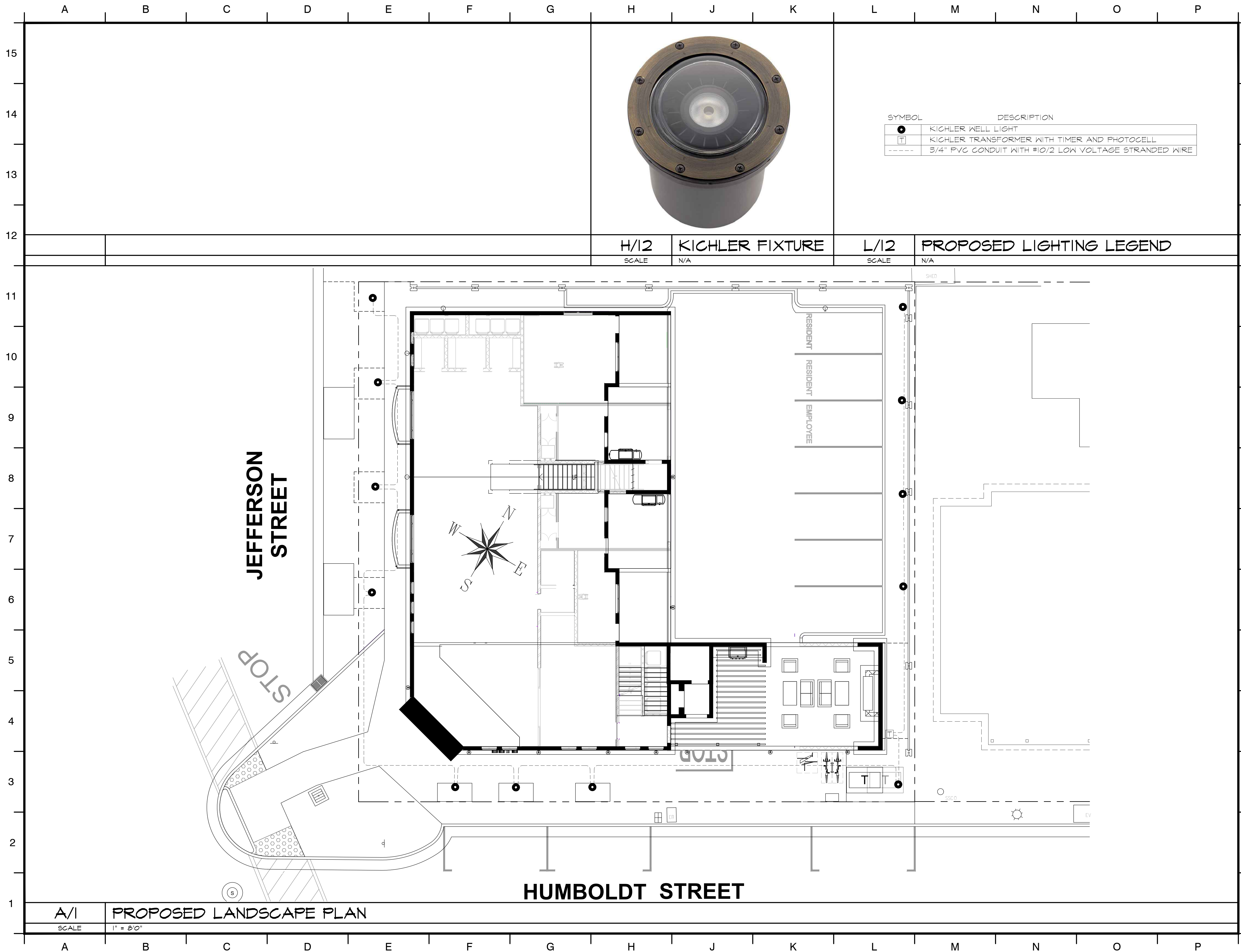
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PROJECT NAME
**PROPOSED
MIXED USE
BUILDING**
YOUNTVILLE, CA

SHEET TITLE
**PROPOSED
LANDSCAPE
PLAN**



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SHEET NO. L1 of 2	



SYMBOL	DESCRIPTION
●	KICHLER WELL LIGHT
T	KICHLER TRANSFORMER WITH TIMER AND PHOTOCELL
---	3/4" PVC CONDUIT WITH #10/2 LOW VOLTAGE STRANDED WIRE

REVISIONS	DATE

All drawings and written material appearing herein constitute the original and unpublished work of the Landscape Architect and the same may not be duplicated, used, or disclosed without the written consent of the Landscape Architect.

ALPINE
LANDSCAPE
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PROJECT NAME

**PROPOSED
MIXED USE
BUILDING**

YOUNTVILLE, CA

SHEET TITLE

**PROPOSED
LANDSCAPE
LIGHTING
PLAN**



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SHEET NO. L2 of 2	