



Town of Yountville

6550 Yount Street
Yountville, CA 94599

Staff Report

Item #: {{section.number}}{{item.number}}

Zoning and Design Review Board Staff Report

DATE: February 11, 2025

TO: Board Members

FROM: Aaron Hecock, Planning & Building Director

PREPARED BY: Kari Svanstrom, Contract Planner

APPLICANT: Chadd MacGilfrey

OWNER: Timothy Chen

ADDRESS: 36 Ivy Court

LAND USE CLASSIFICATION: RS Single Family Residential

TITLE/RECOMMENDATION

Adopt Resolution Number 25-022 conditionally approving Design Review for remodeling and expansion of a single-family residence, construction of auxiliary structures and new landscaping, and a Tree Removal Permit for the removal of two (2) protected trees at 36 Ivy Court and finding the project exempt from the California Environmental Quality Act (CEQA).

BACKGROUND

The site is located on Ivy Court, a cul-de-sac off of Mulberry Street, with residential uses to the north, east, and south, and the post office and police station adjoining the rear yard to the west. The site is a 6,720 square foot lot currently developed with an existing 1,072 square foot single-family home and 303 square foot attached one-car garage. The site also has a small, detached shed in the rear yard.

PROJECT DESCRIPTION

The project proposes an extensive remodel and expansion to be a 2,005 square foot residence, while maintaining the 303 square foot one-car garage. The project also proposes removing the existing shed and would require the removal of two (2) trees which are protected based on their size (16-inch diameter at breast height). The 16-inch diameter ash tree in the front yard conflicts with proposed new underground utilities and the 16-inch diameter ficus tree in the rear yard is within the proposed building footprint.

The project proposes two new auxiliary structures: an approximately 80-square foot detached pergola and a fountain and reflecting pool(s), along with new landscaping throughout the site and new perimeter privacy fencing. The applicant has applied for a 900-square foot detached accessory dwelling unit (ADU) in the rear yard that is under separate, ministerial review.

The project proposes to retain the existing garage in its current location, including maintaining the walls, slab, and existing driveway. The eastern portion of the north facade wall (including utility connections location), the

central internal east-west wall and one internal north-south wall will also be retained. The structure will be expanded behind the existing front facade and garage.

While the proposed project will greatly expand the structure, the front facade width as seen from the street will remain the same, and the structure will be maintained as a one-story building. The exterior of the structure, including roof form, siding, and windows, will all be replaced. The roof form proposes to replace the 1950-60's era asphalt shingle low-slope hip roof with a standing seam metal roof with multiple roof elements, including two 7:12 gabled roof elements as seen from the street (mirrored by two gable elements in the rear yard), with a main roof form a perpendicular gable roof in the middle of the structure.

Materials proposed include a dark bronze standing seam roof, vertical tongue in groove wood siding in a natural wood color, and dark painted gutters, awnings, and window and door frames to match the roof. The garage door is also proposed to be a dark wood-look door with one horizontal panel of lites at the top of the door. The materials and colors proposed are all natural materials and earth tones, with all but the siding and fireplace quarry stone in darker hues of browns and grays. These colors and materials will replace the existing taupe stucco siding, dark gray trim and asphalt shingle roof.

ANALYSIS

Required Entitlements

The project is located in, and subject to, the standards of the Single-Family Zoning District found in Yountville Municipal Code (YMC) Title 17.

The application is subject to minor Design Review pursuant to YMC§17.188.020, as well as the Residential Design Standards and Guidelines found in YMC Chapter 17.40, and the Zoning District standards for the Single-Family (RS) Zoning District found in YMC Chapter 17.20. YMC §17.188.040(A) authorizes the Zoning & Design Review Board (the "ZDRB") to approve, conditionally approve, or deny applications for minor Design Review based on the findings required by YMC §17.188.060.

The application also proposes the removal of two trees that are regulated and require a Tree Removal Permit in accordance with YMC §17.128.040(A)(3). In accordance with YMC §17.128.060(A)(3), when the application for a tree removal permit is combined with an application for a development entitlement, the decision-making authority (ZDRB for this application) shall render the decision on the Tree Removal Permit.

The application for the Accessory Dwelling Unit (ADU) is not subject to Design Review and must be approved "ministerially" at a staff level in accordance with state law and the standards of YMC §17.156.

A few key items for the ZDRB to consider in its review include minor variations from the Design Standards and Guidelines, in addition to an overall review of the project. These design elements include the relationship of the front facade to the existing garage, minimum roof slope, and landscaping and tree replacement.

YMC § 17.20 ZONING – SINGLE FAMILY RESIDENTIAL (RS)

The project conforms to all the Development Standards for the Single-Family Zoning District and General Development Standards for the use as noted in the chart below:

YMC §17.20.050 Single-Family (RS) Zoning District Standards

Development Standard	YMC Requirement	Existing	Proposed
Zoning/Use	Single-Family	Single-Family Residence	Single-Family Residence
Lot Size	4,000-8,000 SF	6,720 SF	6,720 SF
Maximum Floor Area Ratio	0.30 living area 0.35 total (including garage)	0.159 living area (1,072 SF) 0.20 total (1,375 SF)	0.295 living area (2,005 SF) 0.349 total (2,308 SF)

Main Residence SF		1,072 SF	2,005 SF
Garage SF		303 SF	303 SF
Accessory Dwelling Unit (ADU) SF	ADU is exempt from FAR	n/a	900 SF
Auxiliary Structure SF	Up to 100 SF excluded	n/a	n/a
Total Square Feet w/o Garage		1,072 SF	2,005 SF
Total Square Feet with Garage		1,375 SF	2,308 SF
Setbacks			
- Front Setback	20 feet	20 feet	20 feet
- Side Yard Setback (northwest)	5 feet	approx. 10.5 feet	8.5 feet
- Side Yard Setback (southeast)	5 feet	approx. 11 feet	6 feet
- Rear Yard Setback (southwest)	20 feet	approx. 46 feet	36.75 feet
Height Limit (one-story)	15'0" to plate, 20'0" to peak	one-story	one-story 10'6" to plate 16'2" to peak
Parking (17.116.020(F)(1)(a))	2 spaces, one covered, one uncovered	2 spaces, one covered, one uncovered	2 spaces, one covered, one uncovered

YMC § 17.188 DESIGN REVIEW

Pursuant to section 17.188.060, Findings and Decision, following the public hearing, the ZDRB may adopt a Resolution approving the application for minor Design Review, if from the facts presented, the findings required by YMC § 17.188.060 can be made.

The Residential Design Standards and Guidelines found in YMC Chapter 17.40 are analyzed below. All residential projects are subject to these Standards and Guidelines, unless waived by design review approval as regulated by YMC Chapter 17.188 "Design Review."

The only Design Standards the project does not meet are the set back of the garage from the front facade, which is an existing condition, and the minimum roof pitch on the main roof.

The Design Standard for new structures require garages to be set back 10-feet from the front facade of the house. Additional Design Guidelines discourage garages near the front of the lot. The current structure does not conform to this standard as the front facade of the home is currently set back approximately 4-feet from the garage.

The project proposes to maintain the garage in its existing location, with the eastern (front) facade at the 20-foot setback. Staff discussed these Design Standards and Guidelines with the Applicant and how to address these given the existing condition/location of the garage. In response, the Applicant revised the proposed design to bring the northern wall of the front facade ("Bedroom 3") forward to the same 20-foot front setback line, and added a new covered porch set 4-feet three inches into the front yard setback (an allowed encroachment).

The project as proposed will improve on the existing condition by bringing the front facade of the home up to the setback (20-feet, in line with the existing garage) and providing a covered porch which extends 4-feet 3-inches into the front facade (up to eight feet is allowed by YMC §17.108.010(B)). While the location of the existing

garage is not being modified, these proposed elements will minimize the prominence of the existing garage in relation to the house and provide just over a four-foot setback from the house structure.

Given the location of the garage at the front setback line is an existing condition, and that the project is improving the design by bringing the house facade to the setback (the maximum allowed by code) and providing a porch beyond that in the front yard, staff believes this deviation from the standard is supportable.

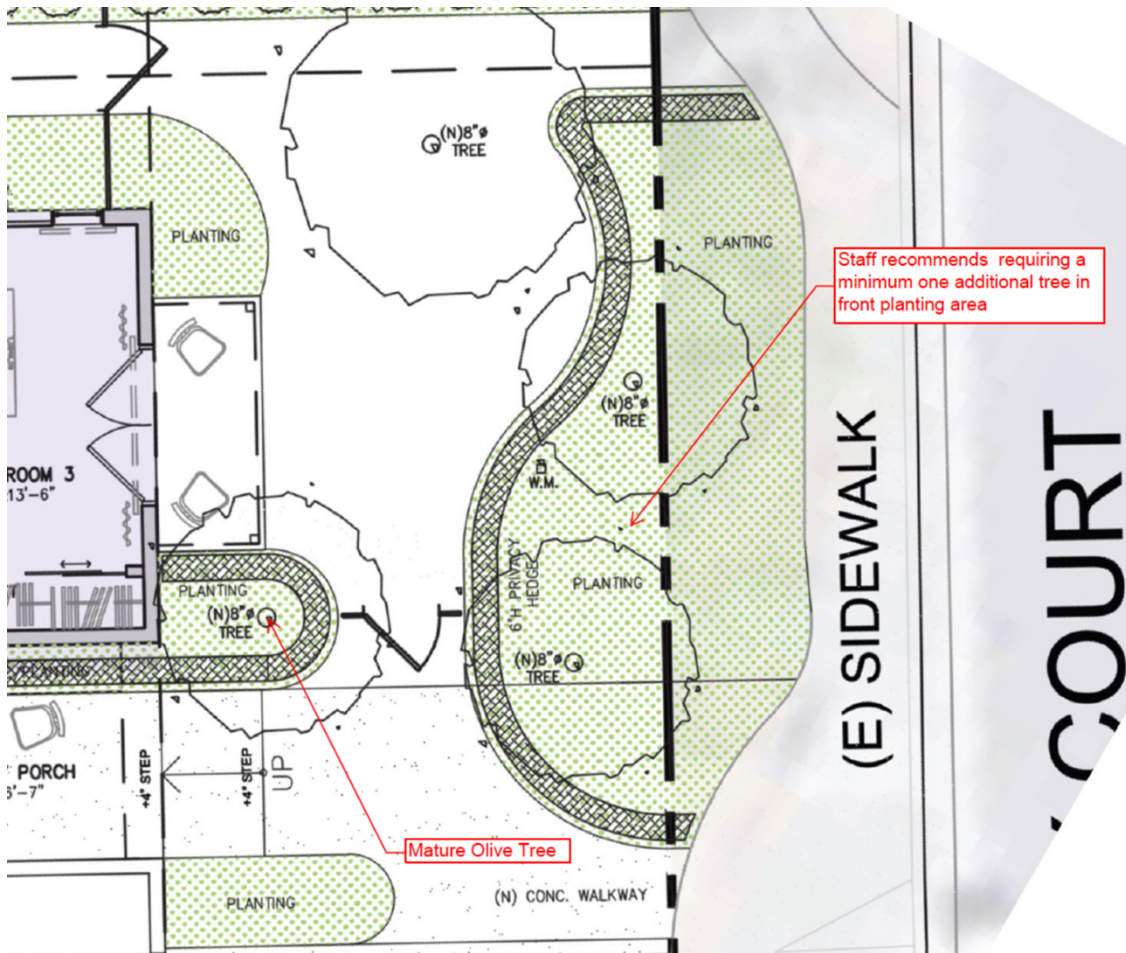
One of the Design Standard for roof forms is that the *“main roof of the building shall have a minimum pitch of 4 in 12 (4:12).”* The project proposes two street-facing gable roof elements at a 7:12 pitch, while the main roof, which is parallel to, and not visible from, the public right-of-way, is proposed to be 3.75:12. Given the roof's location in line with the houses to the north and south and limited sight lines from these side yards, the roof also has limited visibility from adjacent properties. Staff is requesting the ZDRB review this component to determine whether to condition approval of the project on adjusting the main roof pitch to 4:12 or to waive this Design Standard for this particular project, as allowed through the Design Review process by YMC §17.40.020 (*“The following are design standards, which all residential projects are required to conform with unless waived by design review approval as regulated by Chapter 17.188 of this title.”*). The ZDRB may waive this design standard based on the findings required for Design Review set forth in YMC §17.188.060. Staff believes that a waiver of the 4:12 pitch for the main roof is supportable given the low visibility of this roof from the street and the higher 7:12 pitch of the two front gabled roofs.

Staff has discussed this roof pitch Design Standard with the applicant, and they are able to adjust the pitch of the main roof form to be 4:12, although this would increase the pitch of the two front elements (slightly more than 7:12 pitch) and the overall height of the home (the front roofs will need to adjust to ensure the eaves still align). If the ZDRB feels the 4:12 pitch is needed, it should add the following as Condition of Approval 1.f.: *“The main roof pitch shall be adjusted to be a 4:12 pitch.”*



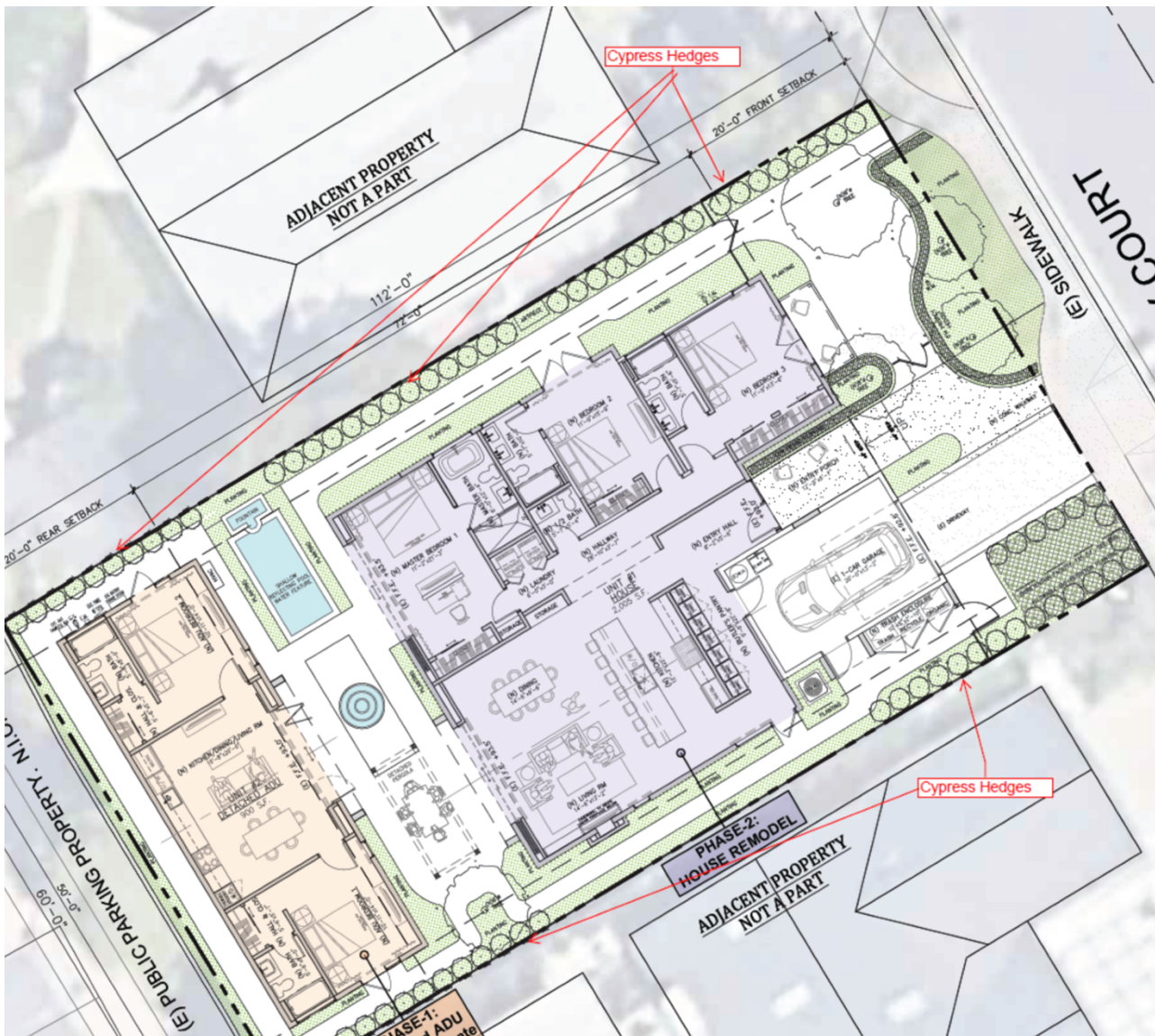
The third element staff are requesting ZDRB input on is the proposed landscaping plan, particularly the replacement of trees within the front yard and the hedges.

The project proposes four trees in the front yard north of the driveway to meet the Residential Design Standard for Landscaping and Open Space, which requires a minimum of one tree in the front yard (per YMC §17.40.020), and to provide replacement trees as mitigation for the proposed tree removal (per YMC §17.128.070). One of these trees, closest to the front door, is identified as a mature olive tree. The other trees are not yet identified.



Staff have concerns regarding the practicality of fitting four larger trees into this area given the proposed underground utility locations. While one tree is identified as a mature olive tree (near the front entry porch), the other three trees are not yet defined. Staff are therefore recommending a condition of approval requiring a minimum of one 15-gallon tree be planted in the front yard in addition to the olive tree near the porch to ensure the project adheres to the Design Standards.

The landscape proposes to plant Italian cypress hedges along both the north and south property lines in addition to the 6-foot privacy fencing, with breaks in the hedges on the north side at the side door to the bedroom and at the fountain in the rear yard, and on the south property line at the wall of the residence. The plant species proposed is Italian cypress, a tall thin linear hedge planting (see last page of Attachment 3 - Plan Set). Staff has concerns that the full-height variety of these trees, with a mature height of 60-70 feet (typical height 35-40 feet) and planted as an almost continuous hedge would block an enormous amount of natural light for the property to the north and would be out of scale with the single-story residences.



Staff is recommending that the cypress hedges be restricted to a variety of cypress trees with a maximum height of 20-feet (requiring this for both north and south hedges would address the issue of the scale of the trees to the structures). The ZDRB should review this landscape element and provide direction regarding landscape impacts to the adjoining property, as there are varieties of Italian cypress that have a maximum height of 8-10 feet, 15-20 feet, and the full scale (35-60 feet) which could be required as a condition of approval.

YMC § 17.020 Residential Design Standards

The following are design standards which all residential projects are required to conform with, unless waived by Design Review approval as regulated by Chapter 17.188 of this title.

Garages, Driveways and Parking	
The width of each garage door shall not exceed 12 feet when located in the front half of the lot and visible from the street.	The proposed single garage door is proposed to be 9-feet in width. <i>Complies.</i>
Multi-car garages are permitted if located on the rear half of the lot or screened from view from adjacent street frontages by building placement, landscaping, and/or fencing in compliance with Chapter 17.136.	<i>Not applicable.</i>

Carports shall be located in the rear half of the lot or screened from view from adjacent street frontages by building placement, landscaping and/or fencing in compliance with Chapter 17.136.	<i>Not applicable.</i>
For single-family houses with attached garages, the width of the house shall be at least five feet greater than the width of the garage along its street frontage. The garage shall be set back at least 10 feet farther than the house from the street.	<p>The garage is 18'3" wide, while the home is approximately 25'6" wide (18'3" + 6'3.25"), which is 6' 3.25" wider than the garage.</p> <p><i>Complies.</i></p> <p>The garage is being maintained in its existing location, with the eastern (front) facade at the 20-foot setback. The front facade of the existing structure is currently set back approximately 4-feet from the garage, in conflict with this Design Standard. The Project proposes to bring the front facade of the home up to the setback (20-feet, in line with the existing garage), and to provide a porch on the north side of the structure which protrudes 4-feet into the front facade.</p> <p><i>Requiring changes to the existing garage location is beyond the scope of design review approval.</i></p>
In the Old Town Historic District, driveway aprons shall be a solid surface, concrete, or pavers, for the width of the driveway and the length from the existing edge of asphalt street to the right-of-way line or five feet, whichever is greater.	<i>Not applicable.</i>
Street Frontage	
The principal orientation of all buildings shall be parallel to streets they face.	<i>Complies.</i>
Primary building entrances and associated paths of travel from the adjacent street(s) shall be visible from the adjacent street(s).	<i>Complies.</i>
Building facades that face street frontages shall include breaks in their wall plane by incorporating one or more techniques along at least 20% of the entire street-facing facade, such as varying setbacks, recessed or projecting building entries, wall offsets, wall projections or variation in materials.	<p>The home is 42'9" wide (20% = 8'6" of offset or other elements). The width of the building at the front facade is an existing condition (the north house wall and both the north and south garage walls are existing/to remain; however, the alcove width is a new design element and could comply with this.</p> <p>The design incorporates a recessed entry alcove that is 8'-6" feet wide, which breaks the front facade plane (the garage and front bedroom 3 walls). With an inset of over 12-feet, this provides the required break in the facade.</p> <p><i>Complies.</i></p>
A covered porch shall be incorporated into the front elevation for new construction. The minimum required porch shall be at least 72 square feet in area and shall measure at least six feet deep (measured perpendicular to the front wall of the house). Porches shall be unenclosed but may be screened.	<p>The entry alcove incorporates a covered porch element at the central entry to the home, as well as a covered porch adjacent to the bedroom on the north part of the facade.</p> <p><i>Complies.</i></p>

Building Scale and Massing	
Buildings shall carry the same design in terms of form and massing, roof design, wall and window design, and colors and materials on all building elevations.	Both the main home and the ADU have the same design aesthetics, including roof slope and form, materials such as roofing and siding, window and door details, as well as the color scheme. <i>Complies.</i>
Roof Forms	
The main roof of the building shall have a minimum pitch of 4 in 12 as shown in Figure 17.40-1.	While the rear pitched roof is slightly less than 4:12 (3.75:12), the roof pitch on the front facade elements and as seen from the street is 7:12. <u><i>As noted earlier in the report, if the ZDRB requires, the Applicant can increase the pitch of the rear roof to 4:12 and adjust the pitch of the front elements to just over 7:12 so the eaves remain aligned. Alternatively, the standard could be waived by the ZDRB.</i></u>
Roofs which incorporate multiple ridges, eaves and/or dormers are required. Up to 20% of the area of a structure's roof may be flat.	The roof includes multiple roof forms, with two main ridges as seen from the street, and an opposing ridge north south for the main house, and an additional ridge at the rear of the home. No eaves are proposed. <i>Complies.</i>
Roofing shall be composition shingle, standing seam, other fabricated metal, or tile from natural materials. Concrete tile, wood shake, or tar and gravel roofing is prohibited.	Proposed roof is standing seam metal roof. <i>Complies.</i>
Windows, Doors and Entries	
Only wood-frame windows, vinyl-clad wood windows or powder-coated metal-framed windows colored by the manufacturer are permitted. Bare metal, plastic, or silver-colored aluminum windows or screen frames are prohibited.	The proposed windows are integral-color metal-framed windows in a dark bronze color. <i>Complies.</i>
Shutters, if incorporated, shall be the same size as half the adjacent window width.	<i>Not applicable.</i>
Trim surrounds shall be provided at all exterior window and door openings. In lieu of exterior window trim, windows can be recessed from wall plane by a minimum of three inches.	The design proposes vertical tongue and groove siding with minimal trim. Additionally, the entry door and French doors for the north bedroom on the front facade are detailed with painted metal porch awnings. The exterior windows and doors are inset by 3-3/4" to 4". <i>Complies</i>
Exterior Building Materials	
The following exterior materials are allowed: wood (lap siding, board and batten, shingle), cement board, or stucco. Natural brick or stone is allowed as an accent material only, covering no more than 25% of any building facade. T-111 or plywood shall not be permitted.	Vertical tongue and groove hardwood siding is proposed for the siding, with integral painted wood-look steel garage door and front door. Painted metal canopies are proposed for the awning, and stone veneer cladding for the fireplace in a natural quarry stone material. This accent is only used on the fireplace and less than 25% of the south facade.

	<i>Complies.</i>
Design material changes shall occur at intersecting planes, at inside corners of changing wall planes or where architectural elements intersect such as a chimney, pilaster, or projection, except for the base of buildings, corner boards or gable ends.	<p>The materials for the structure are consistent throughout the exterior, with minimal material changes. Transitions at the corners are detailed in the plans and hide seams through appropriate details, such as miter joints for exterior siding connections. Where there are transitions in materials, these are made at inside corners (such as the fireplace) or between planes, such as the metal awning for the two front porches.</p> <p><i>Complies.</i></p>
Landscaping and Open Space	
A minimum of one tree shall be planted within the front yard setback for new development. This standard does not apply to the MHP, Mobile Home District.	<p>The Applicant proposes to plant a minimum of one, and up to four smaller trees in the front yard to replace the existing trees proposed to be removed for the development. These trees have not yet been defined, beyond one mature olive tree.</p> <p><i>Complies as conditioned.</i></p>
Utilities and Auxiliary Structures	
<p>a. Utilities and refuse storage areas are not permitted in any setback area or front yard;</p> <p>b. All new electrical, telephone, CATV and similar service wires or cables shall be installed underground. Risers on poles or buildings are permitted;</p> <p>c. Air conditioners and similar mechanical equipment shall be screened from view;</p> <p>d. Electrical vaults and meter boxes shall be screened from view from any public right-of-way. Fire pipes and extinguishers must be easily identified.</p>	<p>Utilities are proposed in the north side yard, behind fencing.</p> <p>As conditioned, new utilities will be under-grounded. The mechanical units will be screened by fencing.</p> <p><i>Complies as conditioned.</i></p>
All exterior mechanical and electrical equipment shall be screened by landscaping or fencing or incorporated into the design of buildings so as not to be visible from the street. Equipment to be screened includes, but is not limited to, all roof-mounted equipment, air conditioners, heaters, cable equipment, telephone entry boxes, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems.	<p>The mechanical equipment will be screened from view (south side of home) by the proposed wood privacy fence.</p> <p><i>Complies as conditioned.</i></p>
Reduced pressure backflow prevention devices are required for connection to the Town's water system and are required to be above ground but shall be screened from adjacent public street(s) by landscaping or fencing while allowing access for annual testing.	<p>As conditioned, this will be met.</p> <p><i>Complies as conditioned.</i></p>

YMC § 17.04.030 Residential Design Guidelines

The following are design guidelines, which residential projects are required to conform with unless waived through design review approval as regulated by Chapter 17.188 of this title:

Driveways, Garages/Carports and Parking	
Garages are encouraged to be located in the rear half of the lot.	The existing one-car garage is proposed to be maintained in the current location.
Detached garages and garage doors that do not face the street are encouraged.	Not applicable.
Single-car garages may be located near the front of the lot, though this is discouraged.	The existing garage is a single-car garage. It is proposed to be maintained in the current location along the front setback, while the house structure and a front porch are being brought forward to minimize the prominence of the garage.
To minimize the amount of paved area, sharing of driveways and access to parking lots is encouraged. An easement providing for shared use shall be recorded.	Not applicable.
On-site paving for vehicles should be of a permeable material, where practical.	The existing concrete driveway is proposed to remain.
For shared driveways exceeding 100 feet in length, turnouts may be needed for vehicles to pass one another.	Not applicable.
Roof Forms	
Roofs should incorporate pre-plumbing and pre-wiring in new development for easy installation of solar water heating and photo-voltaic (PV) solar panels, where feasible. Solar panels should be incorporated into roof design and be low-profile, where possible.	Staff has included a condition of approval to require this.
Building Exterior Colors and Materials	
Buildings shall have consistent materials, details, and architectural theme on all sides of the buildings. Materials that appear faux or veneer-like should be avoided. Joints or raw edges of materials shall be concealed to create an appearance of authenticity.	The proposed structure has unified materials of tongue and groove wood siding with painted metal awnings. The color of the gutters matches the dark standing seam roofing, while the painted metal awnings match the window and door frames in dark gray. Joint details for the siding materials include hidden fasteners, butt joints at interior corners and miter joints at exterior corners to conceal raw edges.
Auxiliary structures that require issuance of a building permit should have consistent exterior material(s) and color(s) with the primary building.	The detached pergola is proposed to be painted metal to match the painted metal awnings and window frames of the main residence. The covering of the pergola will be either metal louver blades matching the frame, or a fabric covering. Additionally, although not subject to Design Review, the proposed ADU utilizes the same roofing, siding, and colors as the main residence.
Mediterranean and Tuscan design styles that include, but are not limited to, the following common characteristics of clay tile, heavy stucco, or plaster, cut and cast stone, wrought iron details, tower-like chimneys, heavy massing, arched openings, and arcades are prohibited.	Not applicable.
Windows, Doors and Entries	
Sliding glass doors are discouraged and the use of large picture windows should be limited when these	French doors are proposed for the two bedrooms, including the front bedroom facing the street.

features are visible from the street.	<p>“Nanowall”-style multi-pane sliding glass walls are proposed for the rear bedroom and living/dining areas; these sliding walls are not visible from the street.</p> <p>An approximately 20-foot-long taller hedge, set back from the property line, is proposed to screen the glazed french doors of the north bedroom to minimize the glazing from the street, as well as provide privacy to the home. While the hedge is exempt from the three-foot limit for hedges at a property line, it is proposed to step down to three feet in height by the front walkway, so the front entry is not obscured.</p>
Double-hung windows should maintain a 1.5:1 height to width ratio or greater.	Not applicable.
Where adjacent to single-family development, windows, balconies, and similar openings should be oriented so as not to have a direct line-of-sight into homes or onto private backyards on abutting properties. This can be accomplished through window placement, stepbacks of upper stories, use of clerestory windows, glass block or opaque glass, or mature landscaping within the rear or side setback areas.	<p>The proposed Project is a single-story residence, with the main large windows to the rear, facing the property’s own Accessory Dwelling Unit.</p> <p>The north elevation, facing the side yard of an adjacent home, includes clerestory windows for the bathrooms, glazed French doors for the middle bedroom which is screened from the adjoining property by an art piece and privacy fencing, and a narrow vertical window for the front bedroom, with its main windows facing the street.</p> <p>The south facade, also facing the side yard of an adjacent home, includes a narrow horizontal window east of the fireplace that will have limited views, and a larger vertical strip of windows at the side entry, which is within a short hallway and not a main living space. These windows are proposed to be screened by the proposed 6-foot privacy fencing. A solid side door is proposed at the garage.</p>

YMC § 17.188 DESIGN REVIEW FINDINGS

A. The proposed development or physical improvement is appropriate for the site with regard to the siting and scale of buildings, pedestrian and vehicular access and circulation, and relationship of structures and open spaces to the streetscape;

STAFF FINDING:

The project is a single-story house with attached one-car garage. The project proposes to maintain the north and central walls of the house and the walls and floor of the garage and expand the structure to the west and northwest within the setbacks. The proposed expansion is a single-story structure which is the same scale as the surrounding residences to the north and south, which are also single story. The proposed landscaping includes a replacement tree in the front yard open space along with hedge plantings at the front and along the side yards. The project includes a covered front entry porch as well as a covered porch for the front bedroom. Walkways for both the primary residence and accessory dwelling unit are also provided.

B. The location of structures preserves significant trees, natural features and identified public view corridors;

STAFF FINDING:

There are no significant trees or public view corridors associated with this site. There are two 16” diameter protected trees that will be removed, one in the rear yard for the expansion of the residence and one in the front yard due to conflicts with utilities. The applicant is proposing to plant up to four smaller trees within the front yard, including one mature olive tree.

As conditioned, one replacement tree will be required within the front yard in addition to the olive tree by the front entry, and the trees being removed will be subject to the town's in-lieu replacement requirements, including diameter replacement and/or in-lieu fee. This will require the planting of a total of 32" diameter in replacement or a combination of replacement and in-lieu fee to total the 32" diameter replacement requirement.

C. The project will be compatible with neighboring properties and developments with regard to setbacks, building heights, and massing;

STAFF FINDING:

The project proposes to expand the structure by keeping the existing garage walls and location which meets the front and side setbacks. A portion of the north exterior wall is also being maintained, while an expansion of the home to the west (rear yard) would have side setbacks which are greater than required by the Yountville Municipal Code on both side yards.

Currently, the fountain adjacent to the pool encroaches into the 5-foot setback required for auxiliary structures. As conditioned, the fountain will be relocated so that all auxiliary structures are compliant with the setbacks.

Additionally, the landscape hedge along the north property line is proposed to be a row of densely planted Italian cypress trees with minimal breaks. As conditioned, the hedge would be restricted to plant species that grow a maximum of 20-feet to ensure the massing of the hedge is in scale with the structures and minimizes shading of the adjoining property to the north.

D. The project will not be detrimental to neighboring properties and developments with regard to the location of parking facilities, siting of trash enclosures, placement of mechanical equipment, and privacy considerations;

STAFF FINDING:

The project retains the existing one-car garage location and size, which adheres to the required setbacks, and retains the driveway for the second off-street vehicle parking space and access to the garage. The trash receptacles and mechanical equipment are located along the south wall of the garage, also beyond the required setbacks. An enclosure with doors is proposed for the trash bins. The mechanical equipment is proposed to be screened from adjoining properties by new landscaping and a new 6' redwood privacy fence along the property line. The redwood fence connects from the garage to the side property line fencing on the south side to screen the trash from the street, with a gate for access to the backyard and ADU.

Additional plantings are proposed along the side yard property lines on the north side along with a vertical art piece where French doors are proposed, while other windows along this side are either clerestory windows with the bottom of sills at approximately 5-feet above the finish floor or narrow windows to minimize views to the adjacent home to the north.

The south side includes two solid side entry doors (to the garage and a side door into the home). While there are windows to the side of the door to the home, these are within a hallway and not a main living area. The main living area's primary glazing is to the west, with a narrow vertical band of windows to the side of the fireplace. The majority of larger openings (windows and doors) are on the west side of the primary residence facing the rear yard and ADU.

E. The project presents an attractive design, utilizing high-quality building finishes and materials, and design techniques to mitigate potentially bulky building forms, such as modulating varied rooflines, partial upper stories, setbacks for upper story volume and/or a variety of roof forms;

STAFF FINDING:

The proposed materials include vertical wood siding in a natural wood color, and a mid- to dark bronze non-reflective standing seam metal roof. The gutters and window frames will be dark bronze color (integral color aluminum frames). The solid doors on the south side of the home and painted metal awnings and pergola frame will be a charcoal gray, while the garage door is proposed to be black/gray wood-colored with a single pane of glazing at the top panel. The fireplace on the exterior will have natural stone cladding

In all, the materials proposed are high quality and a subtle and limited range of muted and natural earth tone colors that are well-coordinated within the structure's composition and the auxiliary structures and ADU. Colors range from the lighter wood siding to the darker bronze gutters and roof colors.

The design techniques mitigate potential bulky forms by providing two gabled roof forms facing the street that connect to a perpendicular gable roof form at the middle of the structure. This allows the home to have a 7:12 pitch roof for the two front elements, while keeping the height of the structure relatively low. The plate height is 10'-6" while the overall height at roof peak is just below 16'-6", below the 20'-0" maximum height allowed.

F. Proposed landscaping provides sufficient visual relief, complements the buildings and structures on the site, and provides an inviting environment for the enjoyment of occupants and the public;

STAFF FINDING:

The proposed front yard landscaping includes new trees in the front yard, including a mature olive tree near the front entry, and a screening hedge between the north side of the home and the street and lower planting beds filling in around additional trees to the sidewalk. Planting beds are also proposed along the entry walk and at the bioswale south of the driveway. The taller hedge screening the north bedroom and porch is lower at the entry walkway to ensure the entry is visible and welcoming from the street.

As conditioned, the north and south property line hedges will be in scale and complement both the on-site structure as well as adjoining single-story homes.

G. The existing or proposed infrastructure and utility capacity are adequate for the proposed development; and

STAFF FINDING:

The Public Works Department has stated that the existing or proposed infrastructure and utility capacity are adequate for the proposed development.

H. The proposed project will comply with all applicable provisions of this Title 17 and will be consistent with the policies and standards of the General Plan.

STAFF FINDING:

As conditioned, the proposed project complies with the applicable provisions of Title 17, as demonstrated in this Staff Report and supporting documents. Furthermore, the proposed project advances General Plan goals and policies, such as Policy LU-2.1 Compatibility of Development, and LU-5.1 Scale of Development. Therefore, the project will comply with applicable provisions of Title 17 and is consistent with policies and standards of the General Plan.

YMC § 17.128 TREE REMOVAL PERMIT

Pursuant to YMC § 17.128.040(A), a Tree Removal Permit is required for any of the following:

1. A heritage tree identified in the Heritage Tree Survey;
2. Any native oak tree with a trunk that measures 10 inches diameter at breast height (DBH) (equal to 31 inches in circumference) or more;
3. Any tree with a trunk that measures 12 inches DBH (equal to 38 inches in circumference) or more or a multi-stemmed perennial plant having an aggregate DBH of 20 inches (equal to 63 inches in circumference) or more;
4. A tree shown to be preserved on an approved development entitlement or specifically required by the Town Council or Zoning and Design Review Board to be retained as a condition of approval of an entitlement; or
5. A tree is required to be planted as a replacement tree.

The site includes two trees that meet Criteria 3, and require a Tree Removal Permit, the 16" diameter ash tree in the front yard and the 16" diameter ficus tree in the rear yard.

Pursuant to YMC § 17.128.060(A)3, if an application is being jointly considered with any other application for a development entitlement, then the decision-making body (Town Council or the Zoning and Design Review Board) shall render the decision as part of the development entitlements. Therefore, the tree removal permit determination will be made with this application.

Both trees are proposed to be removed due to conflicts with the proposed development. The rear yard ficus is located within the proposed building footprint, and the ash tree in the front yard conflicts with required underground utilities (sewer rerouting to accommodate the ADU and storm water drainage connection to the bioswale south of the driveway).

Staff recommends two conditions of approval related to these tree removals: 1) require the project provide a minimum of one tree in the front yard (in addition to the mature olive tree proposed near the front door, so there is a minimum of one tree well within the front yard), and 2) the project shall meet the minimum replacement diameter of 32-inches in compliance with YMC § 17.128.070, either on-site or a combination of on-site and in-lieu fee requirement (if the replacement diameter cannot be met on-site due to site constraints), as required by YMC § 17.128.060(C) and 17.128.070.

Pursuant to YMC § 17.128.060(B), the responsible reviewing authority may approve the application and authorize a tree removal permit if the facts presented establish one or more of the following:

1. The condition of the tree(s) with respect to its health present(s) an imminent danger of falling or failure and constitutes a likely hazard to safety due to the proximity of existing structures or interference with public infrastructure or utilities. Prior history of poor maintenance affecting the health of the tree may invalidate grounds for removal of an unhealthy tree; or
2. Removal is warranted due to the tree's age and size with respect to the size or appropriateness of its planted location or if removal would encourage healthier, more vigorous growth of other trees or would encourage healthier, more vigorous growth of trees and other plant material in the area; or
3. Alternative mitigation measures that reduce a structural defect but do not result in removal of the tree(s) are either impractical or would not benefit the longevity of the subject tree(s).

STAFF FINDING:

The proposed removals are required for the construction of the home as designed, and relocation of the trees would be impractical. Additionally, the undergrounding of utilities is required, which requires the removal of one of the trees.

ENVIRONMENTAL REVIEW

The approval of the proposed project has been determined to be exempt per California Environmental Quality Act (CEQA) Guidelines pursuant to Section 15303, which exempts new construction or conversion of small structures including a single family house; Section 15304, which exempts minor alterations to land such as new landscaping; and Section 15061(b)(3), which exempts activities that can be seen with certainty to not have a significant effect on the environment. None of the exceptions to the exemptions set forth in § 15300.2 apply.

RECOMMENDATION

Receive Staff Report and direct questions to staff. Receive the applicant's presentation.

Conduct public hearing and receive testimony.

Conduct ZDRB discussion on the proposed expansion and renovation to the single-family residence, and new pool and landscaping located at 36 Ivy Court.

Motion and second to approve Resolution No. 25-022 approving the Design Review and Tree Removal Permit for 36 Ivy Court and finding the project exempt from the California Environmental Quality Act.

FISCAL IMPACT

Is there a Fiscal Impact? No

Is it Currently Budgeted? N/A

Where is it Budgeted? N/A

Is it Mandatory or Discretionary? Discretionary

Is there a Staff Resource Impact? No

ATTACHMENTS

1. Resolution No. 25-022
2. Exhibit A to Resolution - Conditions of Approval
3. Project Plans