

Lot #	Name	bld type	Lot size	SFD floor area (SF)	Vaulted floor area for FAR	JADU floor area (SF)	Garage (SF)	Proposed FAR not including the garage	First floor area lot coverage (SF)	Second Floor area (SF)	% second floor area
1	"The Farmhouse"	2bed/2ba SFD	5,900	1,160			400	0.20	1,746	568	33%
2	"The Ranchhouse"	3 bed/3 ba SFD	6,330	2,303			509	0.36	1,746	860	49%
3	"The Barnhouse"	3 bed/3 baSFD	6,267	2,303			509	0.37	1,746	826	47%
4	"The Valley Oak"	3 bed/3 baSFD	6,897	2,479			472	0.36	2,547	518	20%
5	"The Live Oak"	3 bed/3 baSFD	7,498	2,802	147		476	0.39	2,885	514	18%
6	"The Mayacamás"	2 bed/3 baSFD +	6,672	1,749		498	479	0.26	2,223	1,049	47%
7	"The Atlas Peak"	2 bed/3 baSFD	6,981	1,749		498	479	0.25	2,101	1,049	50%
8	"The Sebastopol"	3 bed/3 baSFD	5,433	2,172			531	0.40	1,970	854	43%
9	"The Caymus"	3 bed/3 baSFD	5,445	2,172			531	0.40	1,970	854	43%

Diagram illustrating the elevation of a garage structure. The drawing shows a sloped roofline on the left, a corrugated metal roof section, and two brick columns supporting the structure. A human figure is shown between two cars parked inside the garage for scale. The drawing is divided into four sections with descriptive labels:

- FARMHOUSE:** COLUM LOCATED AT HOUSE LINE
- SHINGLED COLUMNS TO MATCH ARCHITECTURAL PORCH COLUMNS**
- COLUM LOCATED AT ZERO LOT LINE**
- Labels on the right side:**
 - CORRU SLOPE
 - WOOD and HALF PAINTED ARCHIT TRIM
 - HIGHT C ALIGN W OF POR

SCALE: 1/4"=1'-0"



ZAC Landscape Architects, Inc.
405 EAST D STREET SUITE H
Petaluma, California 94952
(707) 696-2967
www.zaclandscape.com
sr@zaclandscape.com



SCALE: 1/16"=1'-0"

The site plan illustrates a residential development consisting of nine lots, numbered 1 through 9. The lots are arranged around a central area labeled "OLIVE COURT". To the west of the lots is "OLIVE LANE", and to the south is "YOUNTVILLE CROSSROAD".

- Lots 1-3:** Located on the left side of the plan. Lot 1 is at the bottom, Lot 2 is above it, and Lot 3 is at the top left.
- Lots 4-6:** Located in the upper middle section. Lot 4 is at the top left, Lot 5 is at the top right, and Lot 6 is below Lot 5.
- Lots 7-9:** Located on the right side of the plan. Lot 7 is at the bottom left of the right-hand group, Lot 8 is at the bottom right, and Lot 9 is at the top right of the right-hand group.

Key features and annotations include:

- Setbacks:** Various setback dimensions are indicated throughout the plan, such as 20'-0", 10'-0", 5'-0", and 15'-0".
- Easements:** Several easements are shown, including "ATTACHED DOCK (E.L. 118.5 @ 2' ABOVE PG.)" and "NEIGHBORS RETAINING WALL EXISTING 2' HEIGHT - SEE CIVIL C&S SECTION B-4".
- Other Labels:** "JADU" is labeled near Lots 6 and 7. "SEE ARCHT'S DWG'S FOR FLOOR PLAN AND ELEVATION MODIFICATIONS" is written twice, pointing to specific areas. "LOT 1" is labeled at the bottom left corner.
- Streets:** "OLIVE LANE" runs vertically along the western boundary, and "YOUNTVILLE CROSSROAD" runs horizontally along the southern boundary.

SITE PLAN

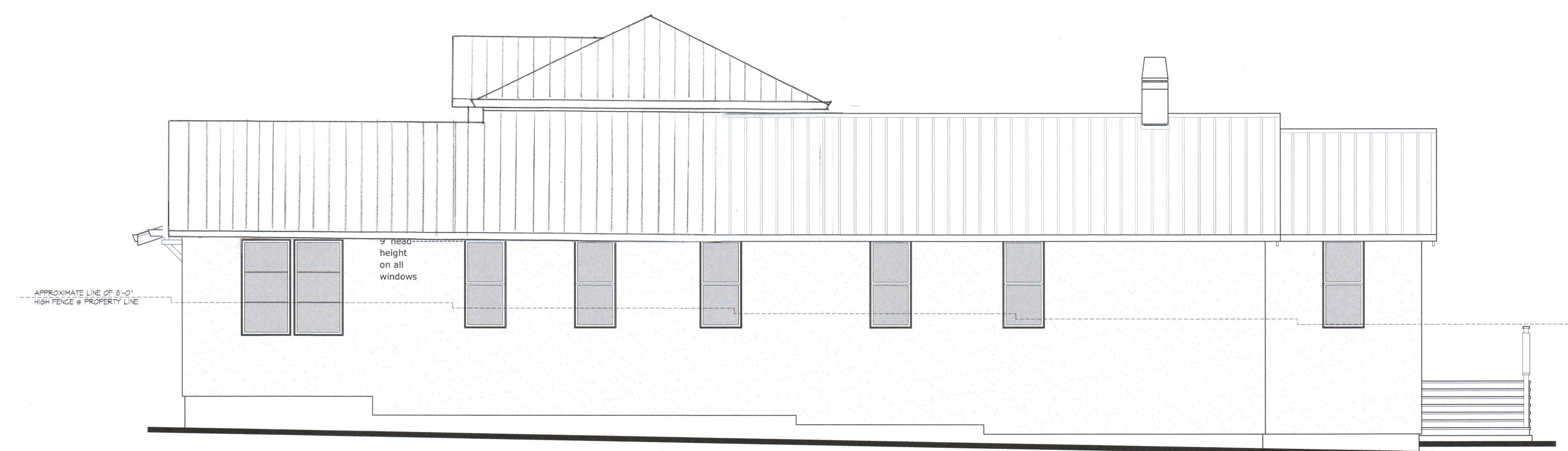
SITE REVISIONS



S I.0



① East Elevation



② North Elevation

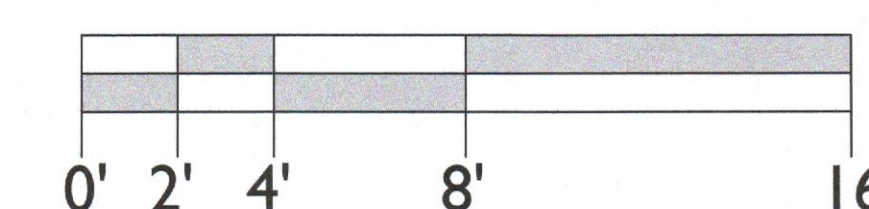
Roofs - standing metal seam or composition shingle
 Siding - horizontal lap or board & bat cement board, vertical barn wood with stucco or stone accents
 Windows - wood clad inset 3"
 Posts - solid cedar
 Railings - cable Rail or cedar posts
 Patios/Decks - see Landscape Plan for greater detail
 Guardrails & Handrails will meet CRC Sections R311 & R312
 Decks exceeding 30' from grade will have a guardrail. Verify in field.

#1: Yountville Municipal Code Section 17.236
"Building height" means the vertical distance measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the highest point of the roof, ridge, or parapet wall of the building.
"Building plate height" means the vertical distance measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the plate line of the exterior walls which is the horizontal plane where the exterior walls meet the roof rafters or trusses.

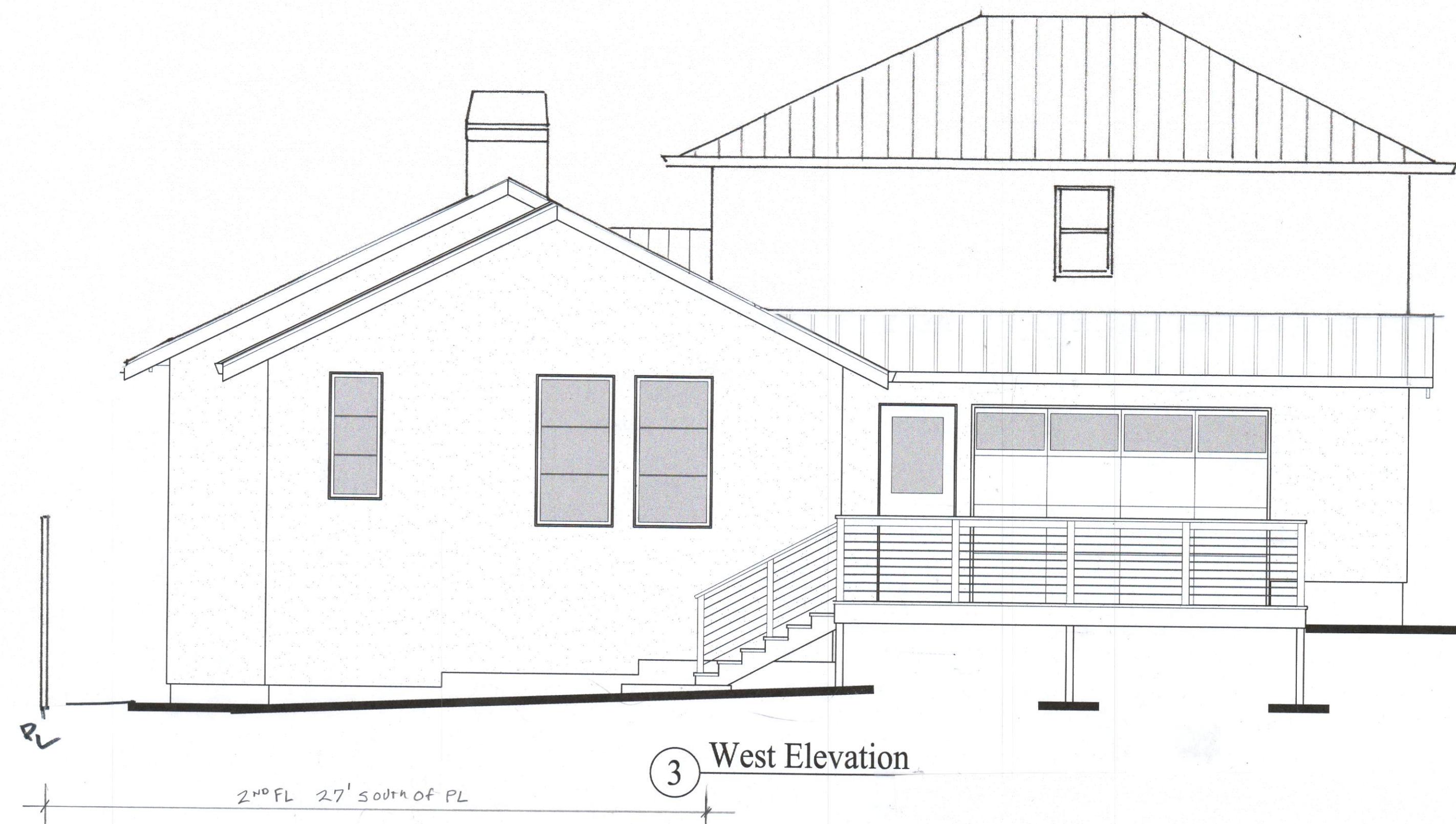
Katherine Austin, AIA, Architect
 179 SE Rice Way, Bend, OR 97702
 707-529-5565 kaaustin@pacbell.net
 www.austinaia.com

"The Valley Oak"
 Lot 4
 Architectural Elevations

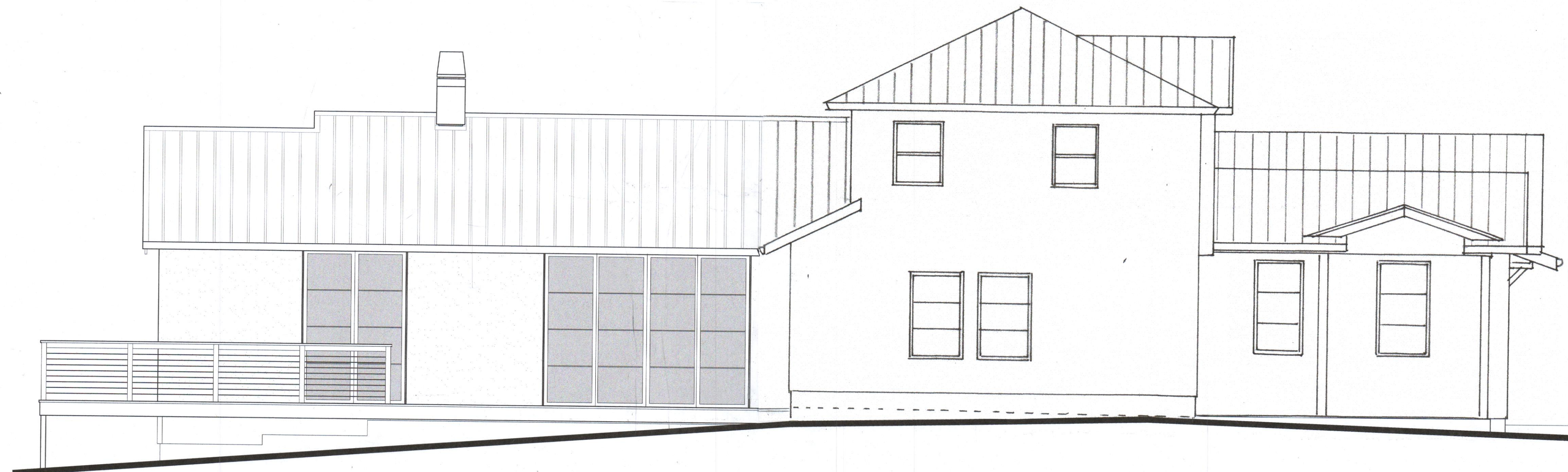
February 16, 2024
 REV 6.25.2024 K. Austin



A4.1



③ West Elevation



④ South Elevation

Roofs - standing metal seam or composition shingle
 Siding - horizontal lap or board & bat cement board,
 vertical barn wood with stucco or stone accents
 Windows - wood clad inset 3"
 Posts - solid cedar
 Railings - cable Rail or cedar posts
 Patios/Decks - see Landscape Plan for greater detail
 Guardrails & Handrails will meet CRC Sections R311 & R312
 Decks exceeding 30' from grade will have a guardrail. Verify in field.

#1: Yountville Municipal Code Section 17.236

"Building height" means the vertical distance measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the highest point of the roof, ridge, or parapet wall of the building.

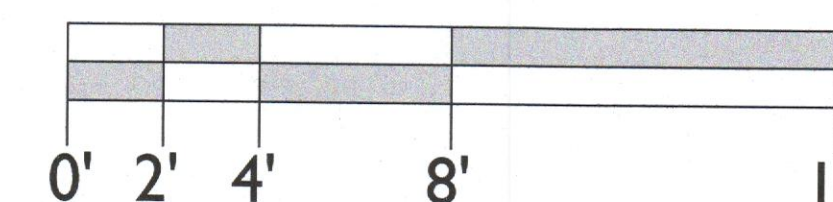
"Building plate height" means the vertical distance measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the plate line of the exterior walls which is the horizontal plane where the exterior walls meet the roof rafters or trusses.

Katherine Austin, AIA, Architect
 179 SE Rice Way, Bend, OR 97702
 707-529-5565 kaaustin@pacbell.net
 www.austinaia.com

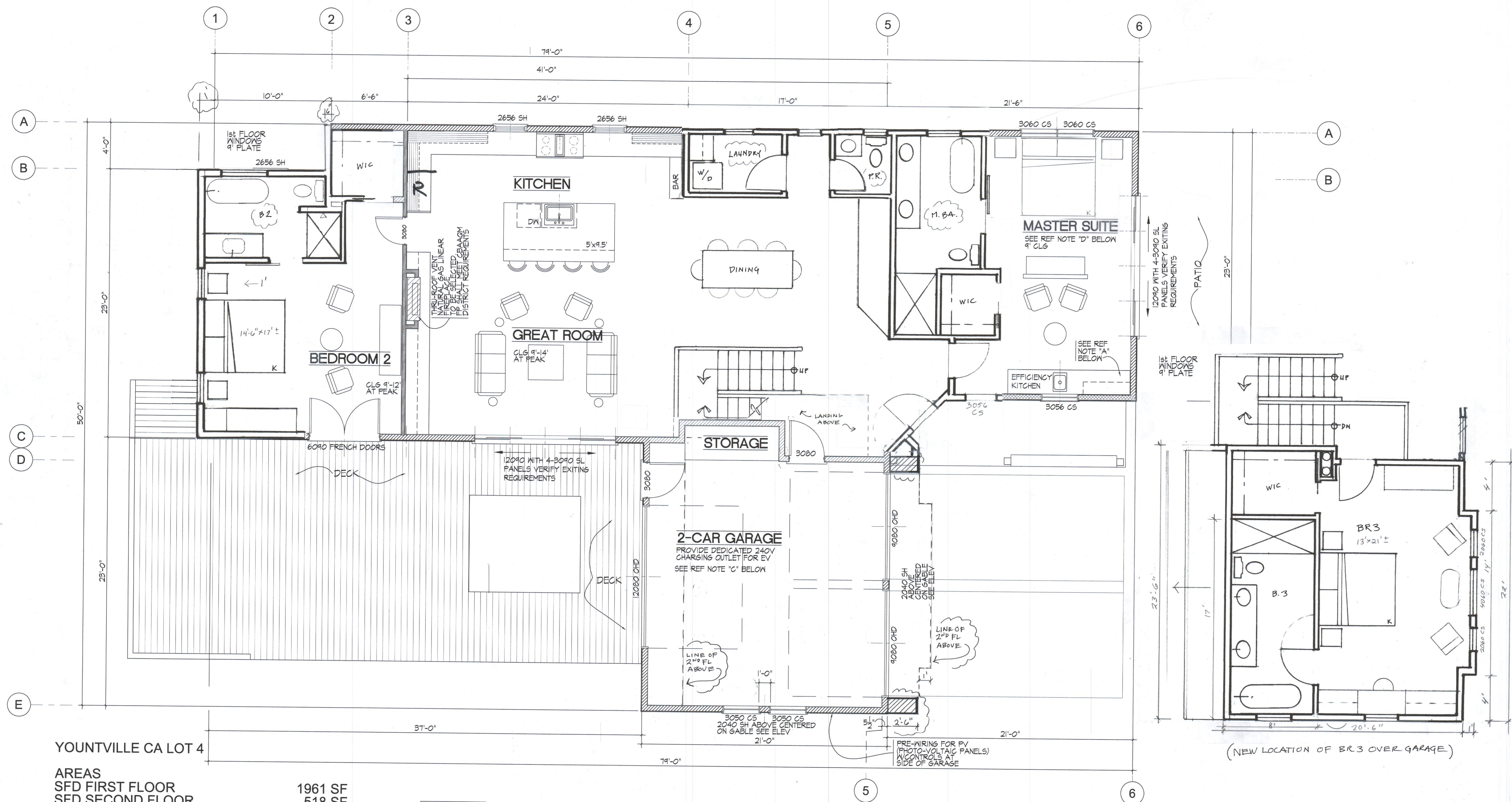
"The Valley Oak"

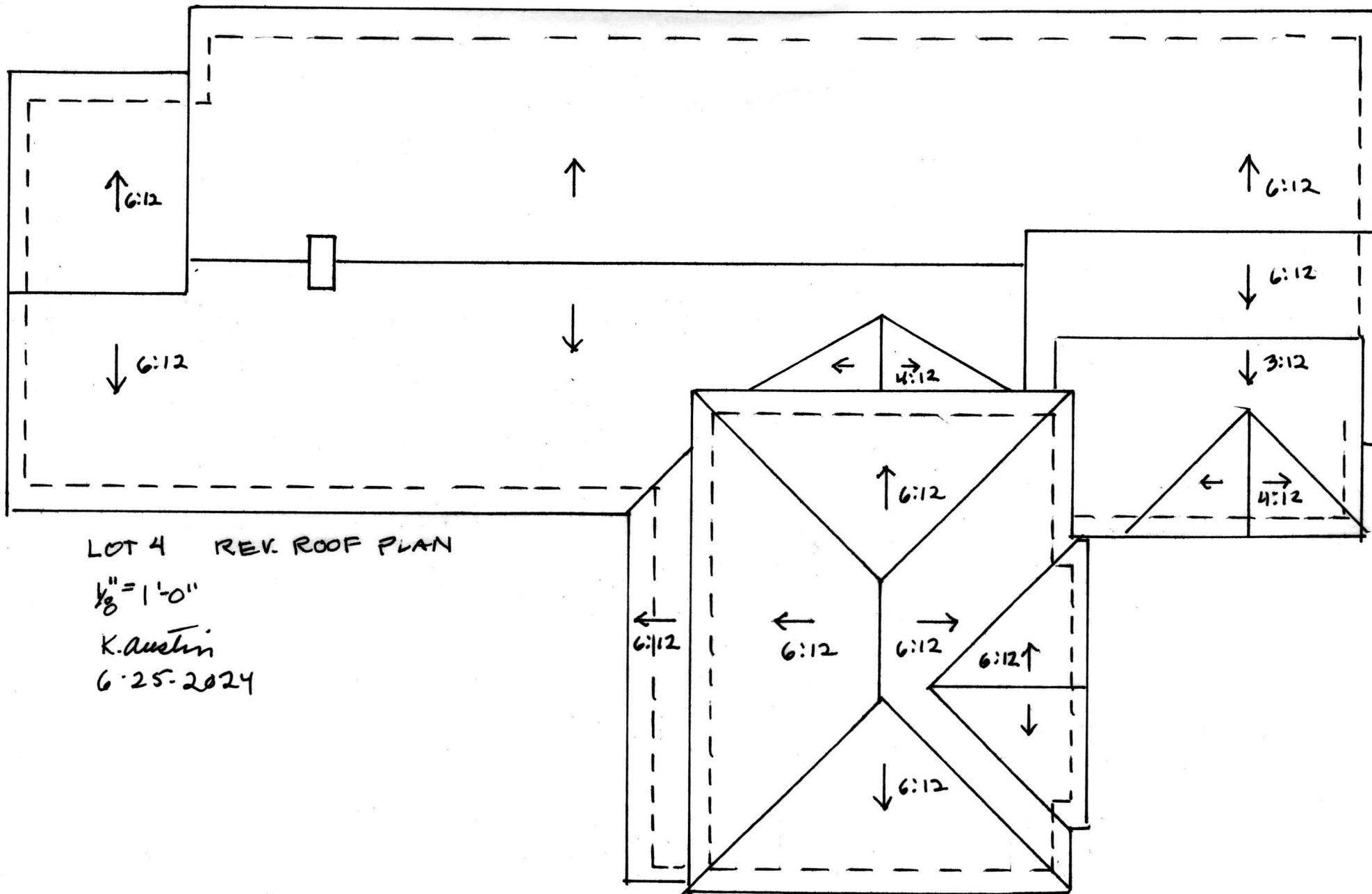
Lot 4
 Architectural Elevations

February 16, 2024
 REV. 6-25-2024 K. Austin



A4.2



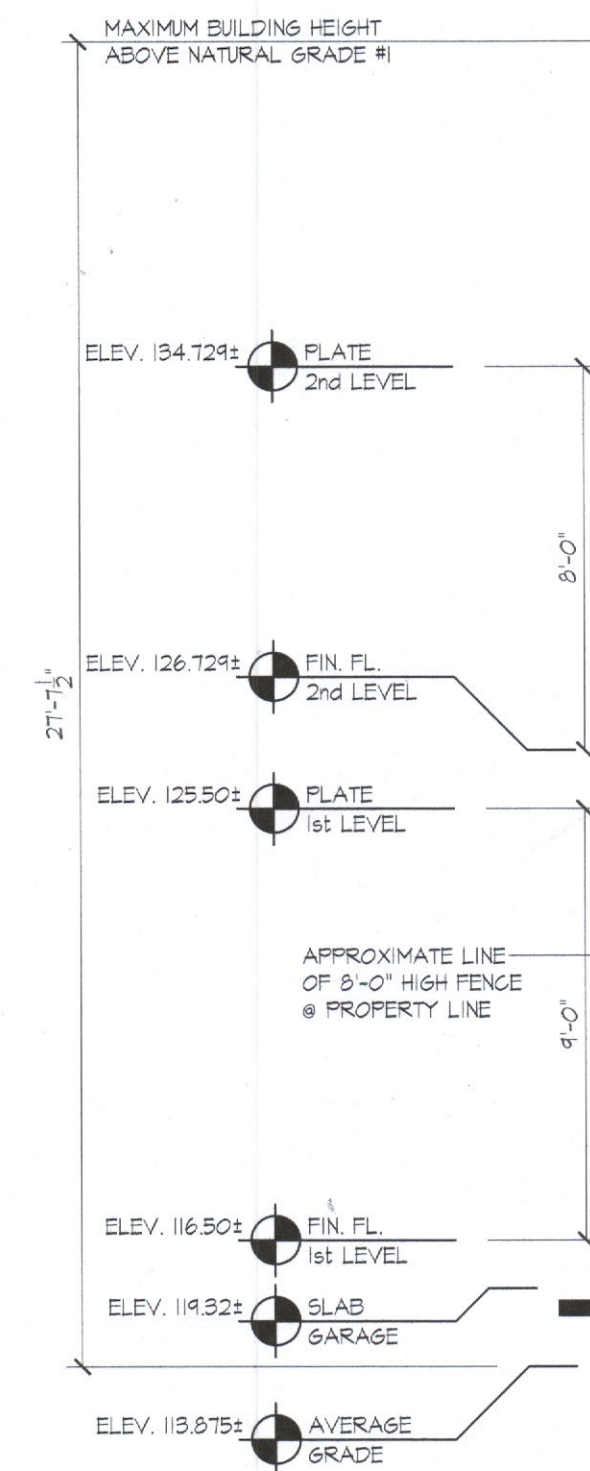


LOT 4 REV. ROOF PLAN

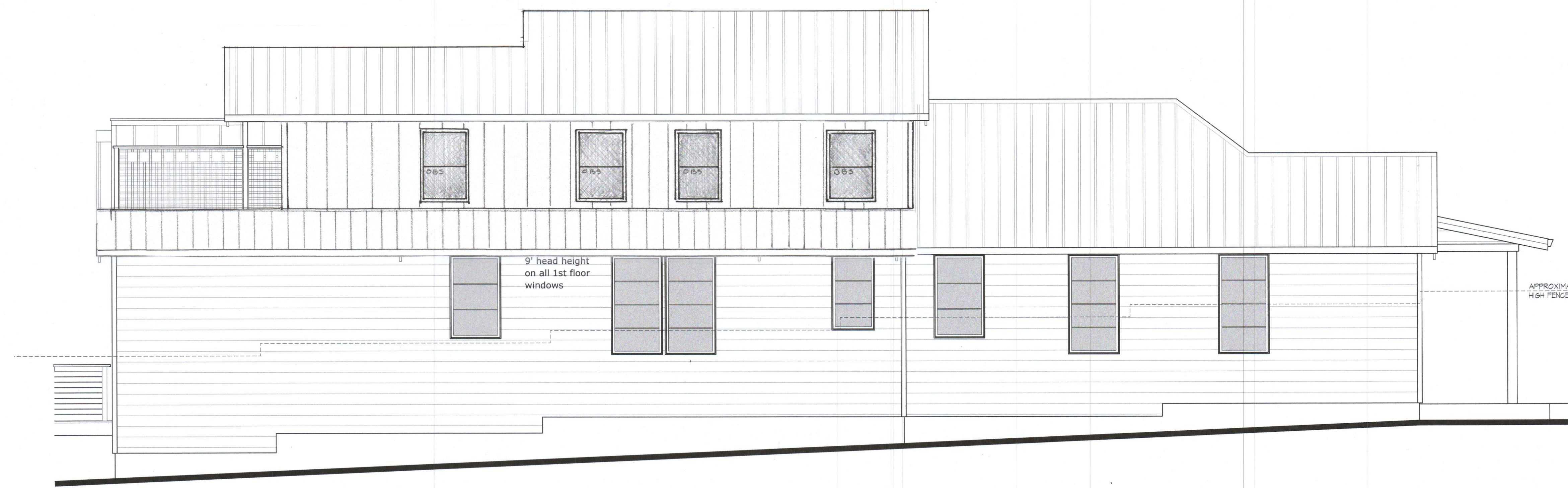
$\frac{1}{8}'' = 1'-0''$

K. Austin

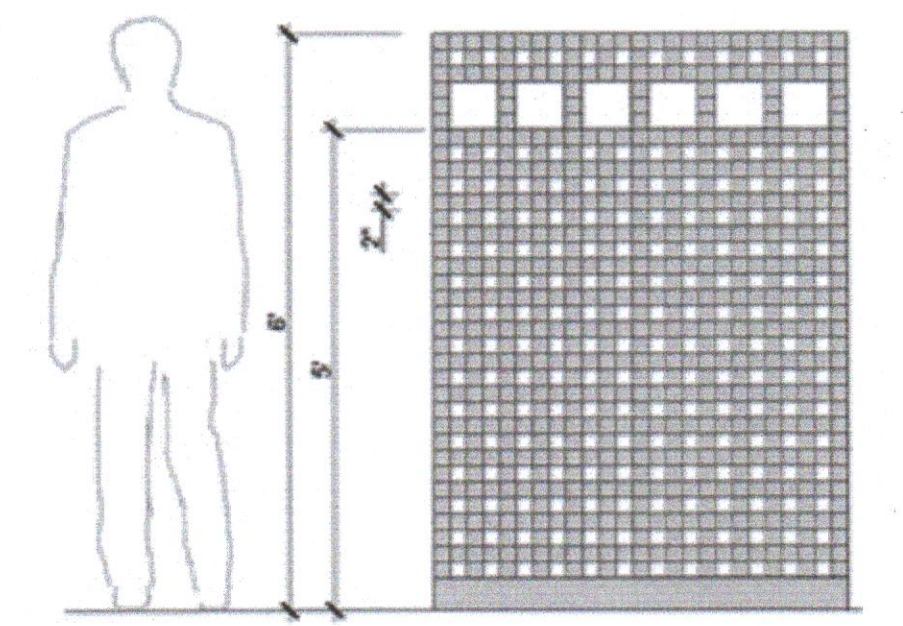
6-25-2024



① West Elevation



② North Elevation



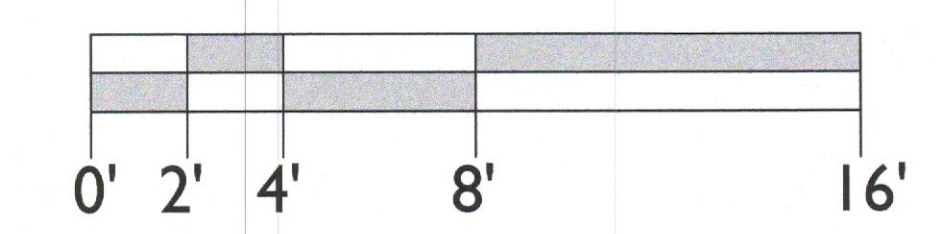
Note: Screening will be designed at upper balcony to provide privacy to adjacent properties.

Roofs - standing metal seam or composition shingle
 Siding - horizontal lap or board & bat cement board, vertical barn wood with stucco or stone accents
 Windows - wood clad inset 3"
 Posts - solid cedar
 Railings - cable Rail or cedar posts
 Patios/Decks - see Landscape Plan for greater detail
 Guardrails & Handrails will meet CRC Sections R311 & R312
 Decks exceeding 30" from grade will have a guardrail. Verify in field.

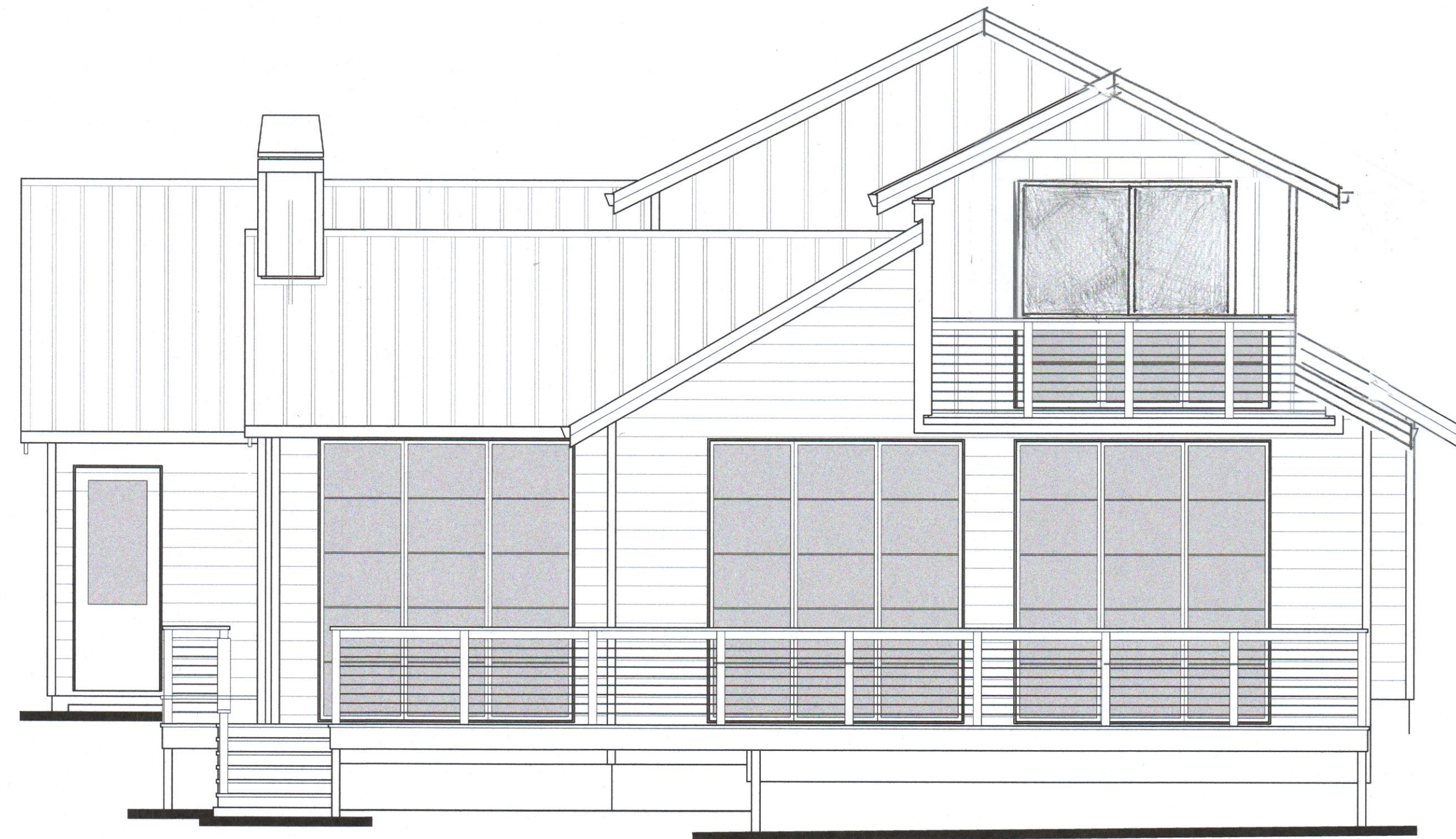
#1: Yountville Municipal Code Section 17.236
"Building height" means the vertical distance measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the highest point of the roof, ridge, or parapet wall of the building.
"Building plate height" means the vertical distance measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the plate line of the exterior walls which is the horizontal plane where the exterior walls meet the roof rafters or trusses.

Katherine Austin, AIA, Architect
 179 SE Rice Way, Bend, OR 97702
 707-529-5565 kaaustin@pacbell.net
 www.austinaia.com

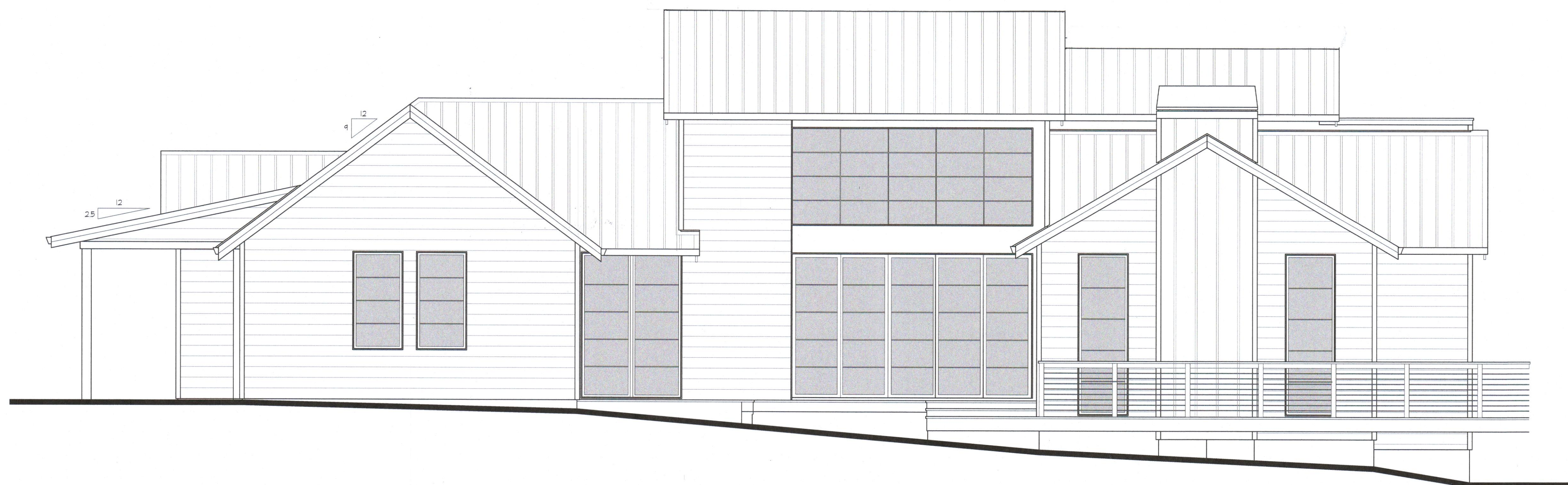
"The Live Oak"
Lot 5
Architectural Elevations
 February 16, 2024
 REV. 6.25.2024 K. Austin



A5.1



3 East Elevation



4 South Elevation

Roofs - standing metal seam or composition shingle
 Siding - horizontal lap or board & bat cement board,
 vertical barn wood with stucco or stone accents
 Windows - wood clad inset 3"
 Posts - solid cedar
 Railings - cable Rail or cedar posts
 Patios/Decks - see Landscape Plan for greater detail
 Guardrails & Handrails will meet CRC Sections R311 & R312
 Decks exceeding 30" from grade will have a guardrail. Verify in field.

#1: Yountville Municipal Code Section 17.236

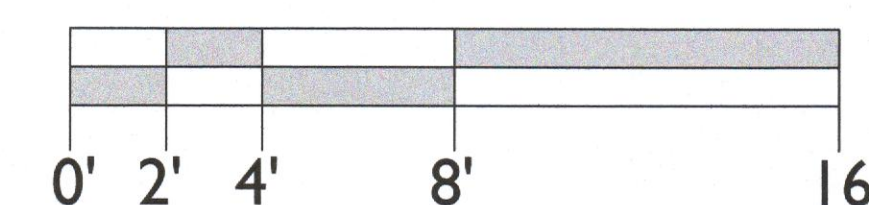
"Building height" means the vertical distance measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the highest point of the roof, ridge, or parapet wall of the building.

"Building plate height" means the vertical distance measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the plate line of the exterior walls which is the horizontal plane where the exterior walls meet the roof rafters or trusses.

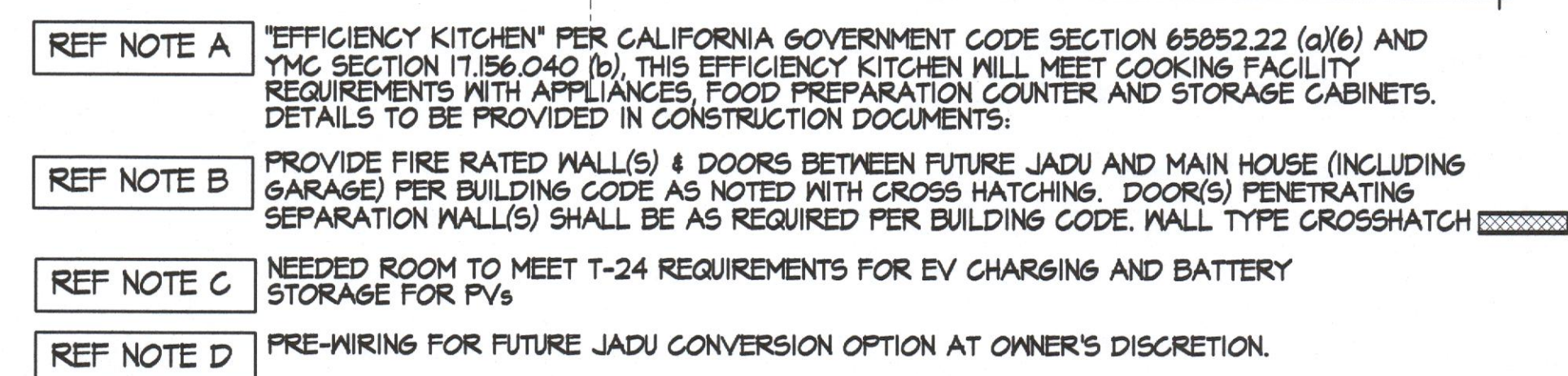
Katherine Austin, AIA, Architect
 179 SE Rice Way, Bend, OR 97702
 707-529-5565 kaaustin@pacbell.net
 www.austinaia.com

"The Live Oak"
 Lot 5
 Architectural Elevations

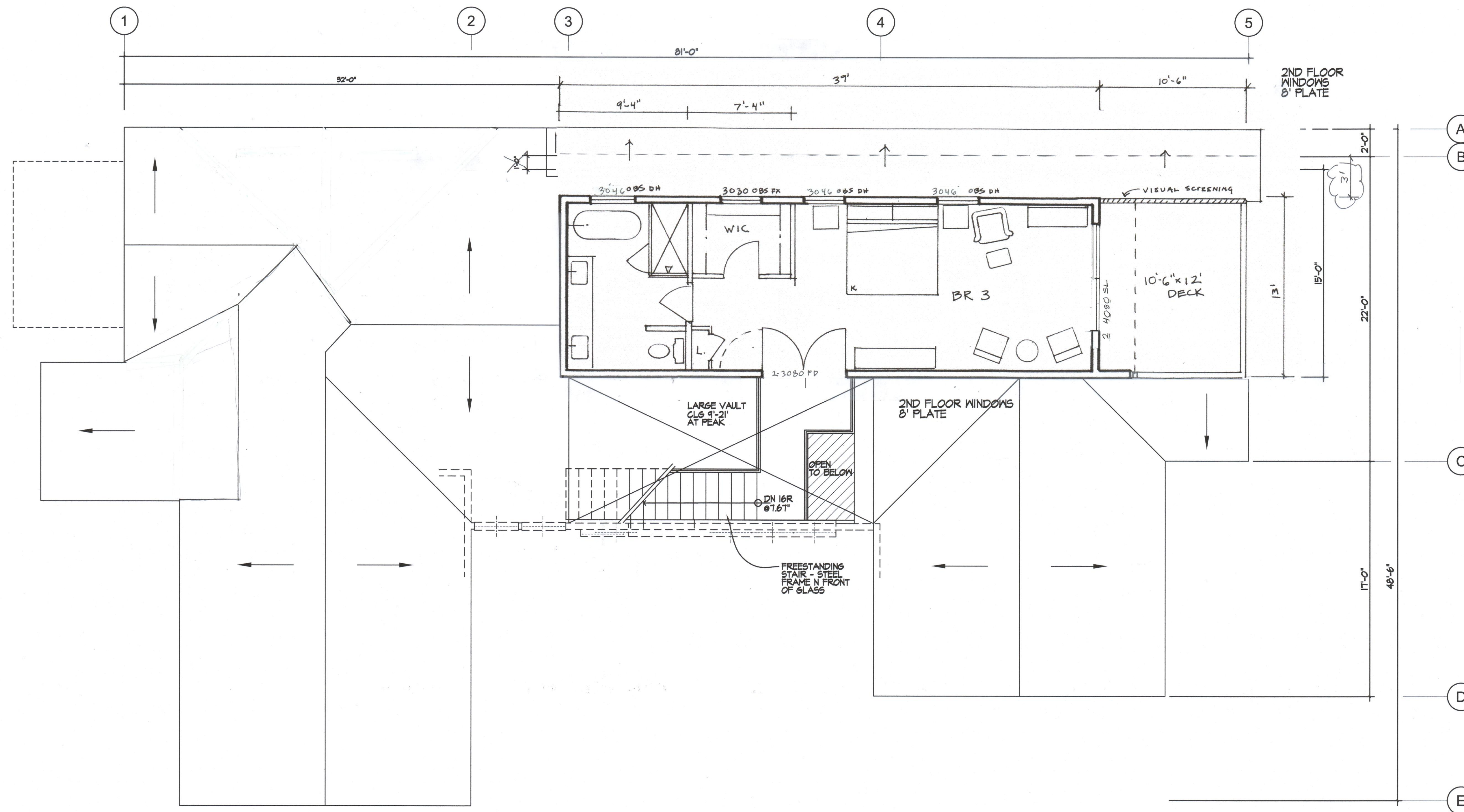
February 16, 2024
 REV 6.25.2024 K. Austin



A5.2



A5.3



YOUNTVILLE CA LOT 5

AREAS	
SFD FIRST FLOOR	2318 SF
SFC SECOND FLOOR	484 SF
TOTAL 1st & 2nd	2802 SF

TOTAL CONDITIONED SPACE	2802 SF
GARAGE	446 SF
MECHANICAL and STORAGE	30 SF
COVERED FRONT PORCH	105 SF
COVERED 2nd FLOOR DECK	128 SF

Katherine Austin, AIA, Architect
 179 SE Rice Way, Bend, OR 97702
 707-529-5565 kaaustin@pacbell.net
 www.austinaia.com

SCALE: 1/8"=1'-0"

FEB 16 2024
 REV 6.25.2024
 K. Austin

LOT 5 ARCHITECTURAL 2nd FLOOR PLAN



A5.4