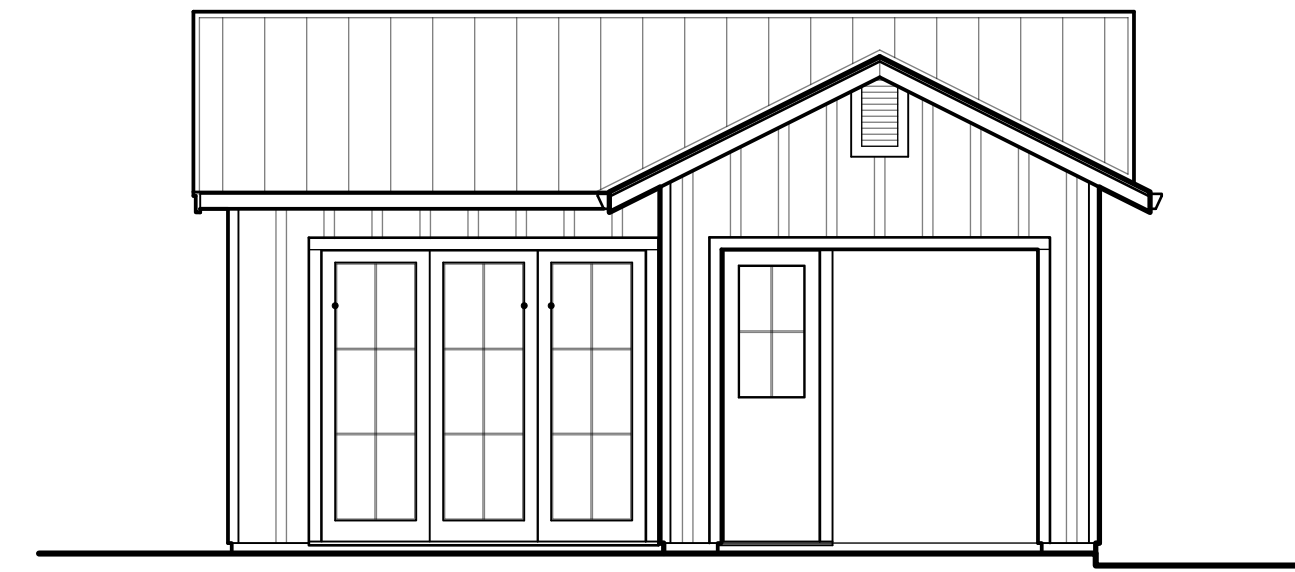
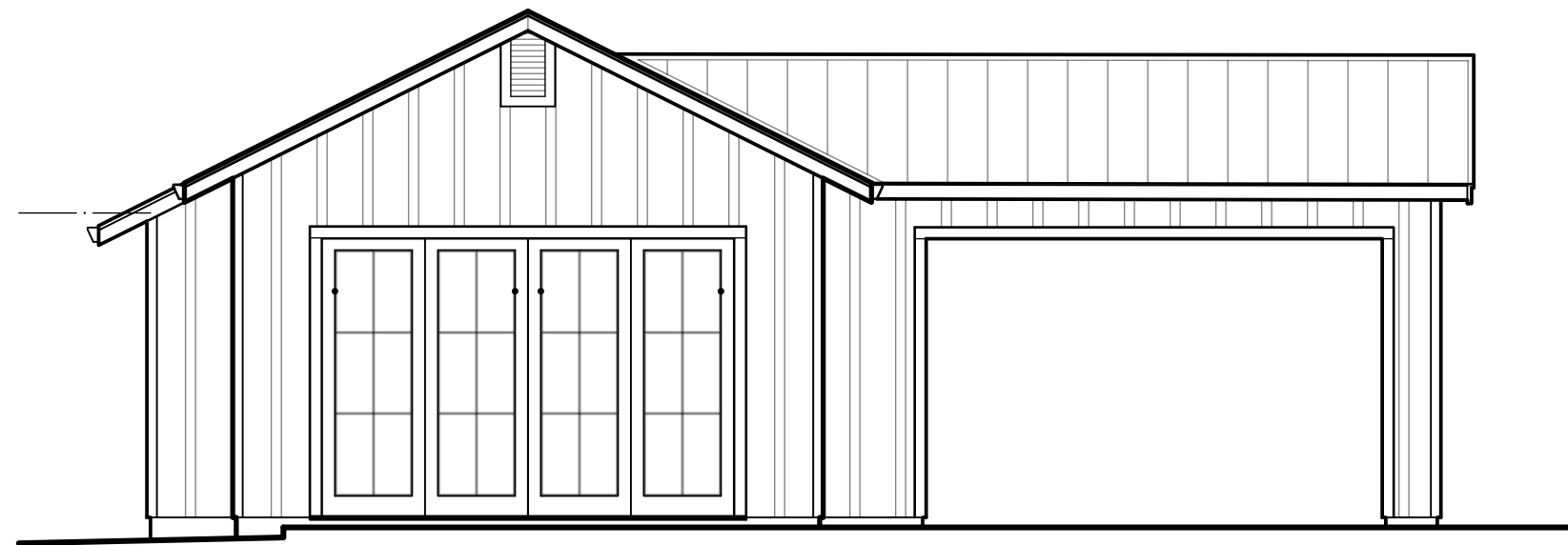


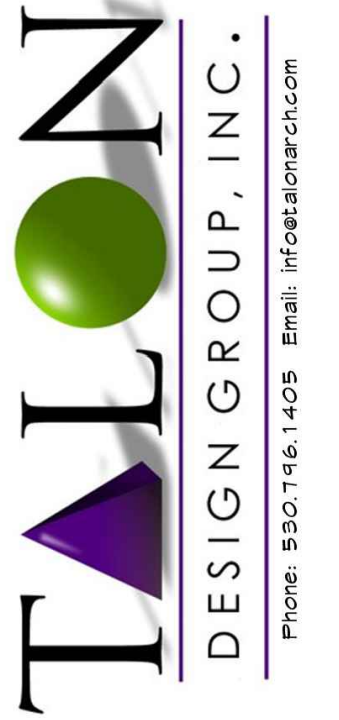
CHUCK CAMPAGNET & MO CONNER  
6867 JEFFERSON ST., YOUNTVILLE CA  
APN: 036-026-014-000



PROJECT DIRECTORY	
<b>DESIGNER:</b> TALON DESIGN GROUP, INC. 4225 SOLANO AVE., #12B NAPA, CA 94550 PHONE: (510) 406-5035 <b>CONTACT:</b> ALAN PASE, PRINCIPAL EMAIL: apase@taldesign.com	<b>GEOTECHNICAL:</b> BAUER ASSOCIATES, INC. WESTSIDE CENTER 6470 MIRABEL RD., P.O. BOX 460 FORESTVILLE, CA 95486 PHONE: (707) 881-2505 <b>CONTACT:</b> ART GRAFF, GEOTECH. ENGINEER EMAIL: art@bauergeotech.com
<b>OWNER:</b> CHUCK CAMPANGET AND MO CONNER 6867 JEFFERSON ST. YOUNTVILLE CA 94591 PHONE: (925) 728-8458	
<b>CONTACT:</b> CHUCK CAMPANGET EMAIL: c.lamson@properties@gmail.com	
<b>STRUCTURAL ENGINEER:</b> HOK 4 ASSOCIATES 5580 CONMERCE BLDV., SUITE 105 ROBERT PARK, CA 94428 PHONE: (707) 578-8185	
<b>CONTACT:</b> CODY CRUZ EMAIL: cody@hokassociates.com	
<b>ENERGY COMPLIANCE:</b> RICK'S ENERGY SOLUTIONS, INC. 1421 GUERNEVILLE RD., SUITE 106 SANTA ROSA, CA 95409 PHONE: (707) 578-3560	
<b>CONTACT:</b> RICK KOPPELWITZ EMAIL: rick@rc-networks.biz	
<b>PLUMBING:</b> LEFTLER ENGINEERS, INC. 1681 SECOND ST. SAN RAFAEL, CA 94403 PHONE: (415) 456-4220 <b>CONTACT:</b> TREVOR LEFTLER EMAIL: tleftler@leftlerengineering.com	

<h2>SPECIAL TESTS/INSPECTIONS</h2> <p>1. EPOXY AND EXPANSION ANCHORS  2. ANCHOR BOLTS INSTALLED IN CONCRETE (SIMPSON TITEN HD)  SEE STRUCTURAL DRAWINGS FOR ALL LOADS AND DESIGN DATA</p> <p>CAL GREEN  RICK'S ENERGY SOLUTIONS ARE THE CAL GREEN SPECIAL INSPECTOR  AND HERE RATER FOR THIS PROJECT. PLEASE CONTACT RICK'S  ENERGY SOLUTIONS TO SCHEDULE INSPECTIONS 5-8 WORKING DAYS  PRIOR TO REQUIRED INSPECTIONS</p>	
<h2>WORK DESCRIPTION</h2> <p>CONSTRUCTION OF A NEW STUDIO DETACHED ACCESSORY DWELLING  UNIT. PROJECT INCLUDES RELATED MECHANICAL, ELECTRICAL, AND  PLUMBING WORK.</p>	
<h2>CODE COMPLIANCE</h2> <p>ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND  ORDINANCES AND THE FOLLOWING:</p> <ul style="list-style-type: none"> <li>2022 CALIFORNIA BUILDING CODE (CBC)</li> <li>2022 CALIFORNIA RESIDENTIAL CODE (CIRC)</li> <li>2022 CALIFORNIA MECHANICAL CODE (CMC)</li> <li>2022 CALIFORNIA ELECTRICAL CODE (CEC)</li> <li>2022 CALIFORNIA PLUMBING CODE (CPC)</li> <li>2022 CALIFORNIA FIRE CODE (CFC)</li> <li>2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CGBCS)</li> </ul>	

<b>PROJECT DATA</b>		
LOT AREA :	7448 SF, 0.17 ACRES	
ZONING:	GLD TOWN DISTRICT	
A.P.N.	034-211-041	
OCCUPANCY GROUP:	R-3	
CONSTRUCTION TYPE:	V-B	
SPRINKLERS:	NONE AT EXISTING RES. NONE AT ADU	
<b>SETBACKS:</b>		
MIN. ALLOWED:		
FRONT:	HT(8'-0") x 10'-0" HT 15'-0" x 15'-0"	
SIDES :	4'-0"	
REAR:	4'-0"	
<b>GROSS FLOOR AREA:</b>		
	EXISTING	PROPOSED
PROPOSED ADU LIVING	- 5F	448 SF
PROPOSED CARPORT	- 5F	216 SF
TOTAL ADU AREA	- 5F	664 SF
HOUSEPORCH (SEPARATE PERMIT)	2071 SF	2074 SF
EXISTING DETACHED GARAGE	530 SF	- 5F
TOTAL AREA	2607 SF	2793 SF
<b>LOT COVERAGE:</b>		
FLOOR AREA	EXISTING:	PROPOSED:
LOT AREA	7448 SF	7448 SF
	0.3501 OR 55%	0.3670 OR 51%
<b>BUILDING HEIGHT:</b>		
PROPOSED MAXIMUM ADU HEIGHT =		15'-5"
<b>NOTES:</b>		

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**SHEET CONTENTS:**

COVER SHEET

JOB NO. :	22-09
DATE :	7-11-23
ISSUE :	PERMIT SUBMISSION
DRAWN :	MP
CHECKED :	AP

PROJECT:  
NEW ACCESSORY DWELLING UNIT FOR  
**CAMPAGNET  
& CONNER**  
6867 JEFFERSON ST., YONTAVILLE CA  
APN: 096-026-014-000

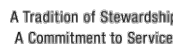
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DESIGNER SIGNATURE:

SHEET NO.:

A





**Office: (707) 299-1464**

Jake White  
Fire Marshall

<b>TO:</b>	Town of Yountville Planning Department	<b>DATE:</b>	10/10/2023
<b>FROM:</b>	Jason Downs, Deputy Fire Marshal	<b>PERMIT #</b>	Land Use Permit
<b>SUBJECT:</b>	6867 Jefferson Street (Main and ADU)	<b>APN:</b>	036-026-014

1. All construction and use of the facility shall comply with all applicable standards, regulations, codes, and ordinances at the time of Building Permit issuance.
2. Beneficial occupancy will not be granted until all fire department fire and life safety items have been installed, tested, and finalized.

Please note that the comments noted above are based on a Fire Marshal review only. There may be additional comments or information requested from other County Departments or Divisions reviewing this application submittal package. Napa County Fire Marshal's Office Development Guidelines can be found @ [www.countyofnapa.org/firemarshal](http://www.countyofnapa.org/firemarshal). Please contact me at (707) 299-1467 or email at [jason.downs@countyofnapa.org](mailto:jason.downs@countyofnapa.org) with any questions or concerns.

## A - GENERAL REQUIREMENTS

- [illegible]

[illegible]

- C1 FURNISH DRAWINGS OR NOTICES INCLUDED HEREIN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THIS DOCUMENTATION SHALL BE IN ACCORDANCE WITH THESE DRAWINGS, AND IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS TO OBTAIN ALL PERMITS FOR THIS WORK.
- C2 HOT AND COLD RUNNING WATER IS REQUIRED.
- C3 PROVIDE ACCESS TO ALL PLUMBING FIXTURES.
  - A) FLOOR FLOORS CLEAN-OUTS SHALL BE WITHIN 30 FEET OF THE GRAB, SPACE ACCESS, AND SHOWER HEADS.
  - B) CLEAN-OUTS SHALL BE WATER TIGHT AND AIR TIGHT
  - C) CLEAN-OUTS SHALL BE LOCATED OUTSIDE OF THE BUILDING, HAVE THEIR WATER-TIGHT AND GAS-TIGHT, THEY MUST BE ADJUSTED AROUND
- C4 SINKS AND TUBS/SHOWERS TO HAVE 1/8" MINIMUM PIPE SIZE DRAIN PIPES.
- C5 FITTINGS OR RATES SHALL HAVE A MAXIMUM FLANGE RATE OF 1/8" GPM @ 150 PSI, LAVATORY/PURGE VALVES SHALL HAVE A MAXIMUM FLANGE RATE OF 1/2 GPM @ 80 PSI, URINALS/Faucets SHALL HAVE A MAXIMUM FLANGE RATE OF 1/2 GPM @ 60 PSI, GREASY/TANK-FIXTURE TYPE SINKS SHALL HAVE MAXIMUM OF 1/20 GAL/FLUSH
- C6 THERE MUST BE AT LEAST 6 INCHES BETWEEN THE CENTER OF PLUMBING FIXTURES SUCH AS WATER CLOSURES, SINKS, SHOWERS, TUBS, AND LAVATORIES.
- C7 CONSULT OWNER FOR ALL PLUMBING FIXTURE MARKS, MODELS, LOGOS, AND MANUFACTURERS.
- C8 CONSULT OWNER FOR HEIGHTS OF ALL SHOWER HEADS.
- C9 PROVIDE SINKS, SHOWERS, TUBS, AND LAVATORIES WITH AN ADJUSTMENT POINT TO STEERING INTO SHOWER/COMPARTMENT POSITION SHOWER HEAD SUCH THAT IT DOES NOT SPRAY DIRECTLY AT THE USER'S FACE.
- C10 SHOWNERS AND TUBS/SHOWERS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
- C11 DRAIN PIPES FROM UPPER LEVEL TO BE WRAPPED IN INSULATION FOR SOUND DAMPING.
- C12 ALL PLUMBING SHALL BE SEPARATED FROM STRUCTURE WITH PLUMBING PIPE ISOLATORS.
- C13 PROVIDE 1/2" VENT VALVE TO EXTERIOR THROUGH ROOF WITH MINIMUM 1' CLEARANCE TO EAVES AND TO A MIN HEIGHT OF 12" ABOVE DRAIN INLET. AT ALL TUBS/SHOWERS PROVIDE A SHROUD HANG, HANGERS SHALL BE USED TO SUPPORT VENTS TO PREVENT CONTACT WITH WALLS.
- C14 FINISHED FLOOR TO SHOWER RECEPTOR SHALL CROSS UNIFORMLY FROM THE SIDES TOWARDS THE SHOWER RECEPTOR.
- C15 PLUMBERS TO PROVIDE VENTILATE FUTURE VENT OR LOO VENT FOR ISLAND DOUBLE-COMPARTMENT SINKS.
- C16 ILLUSTRATE WATER SYSTEM PIPING AND TANKS FOR EACH SECTION 80.0 (1)

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62 GAS PIPED WATER HEATER SHALL BE INSTALLED WITH SEISMIC STRAPS PER 2022 CPD S01 AND S07  
63 BEING WITH CONNECTION AIR PER CPD S01

64 CANNERY OVERFLOW LINE OF THE WATER HEATER (TANK TYPE OR TANKLESS) IS 1' T VALVE TO THE  
65 OUTSIDE.

66 WATER HEATER IN A GRAVE SPACE OR GARAGE MUST BE SET ON A RAISED PLATFORM AT LEAST 18  
67 INCHES ABOVE THE GRADE.

68 MECHANICAL CONNECTION SHALL PROVIDE SEPARATE CONNECTIONS (S) FURNACES VS  
69 WATER HEATER.

70 WATER HEATER RELIEF VALVES TO BE PROVIDED WITH A DRAIN. THE DRAIN SHALL EXTEND FROM  
71 THE VALVE TO THE OUTSIDE OF THE BUILDING TO GRAVITY DRAIN DRAIN END OF PIPE NOT MORE THAN  
72 12" NOR LESS THAN 6" ABOVE THE GROUND AND POINTING DOWN. PER 2022 CPD SECTION 600.8

73 WATER HEATER SYSTEMS USING GAS OR PROPANE SHALL INCLUDE THE FOLLOWING:

74 1. A VENT PIPE TO EXHAUST THE HEATER FROM THE DOWNER PER 2022 CPD ACCESSIBLE TO THE  
75 WATER HEATER WITH NO OBSTRUCTIONS.

76 2. A VENT PIPE TO EXHAUST THE HEATER FROM THE OUTSIDE TERMINATION AND  
77 THE SPACE WHERE THE WATER HEATER IS INSTALLED.

78 3. A COMBUSTION DRAINAGE DRAINAGE TO EXHAUST THE WATER HEATER FROM THE OUTSIDE OF THE INSTALLED  
79 GAS PIPING AND ALLOW THE DRAINAGE TO EXHAUST THE WATER HEATER FROM THE OUTSIDE OF THE INSTALLED  
80 GAS PIPING WITH A CAPACITY OF AT LEAST 200,000 BTU PER HOUR.

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H1 GYPSUM BOARD WORK AND MATERIALS SHALL MEET ALL REQUIREMENTS OF A.S.I. NO. 47-1, FOR THE "APPLICATION AND FINISHING OF WALLBOARD" JOINT COMPOUND SYSTEM MIXED, APPLIED, AND FINISHED IN COMPLIANCE WITH MANUFACTURER'S PRINTED DIRECTIONS, TO BE INVISIBLE AFTER FINISHED, INCLUDING ALL METAL CORNER BEADS AND TRIM.

H2 USE 5/8" DRYWALL FOR ALL WALLS AND CEILINGSS

H3 ALL AREAS UNDER STAIRWAYS USE 5/8" TYPE "X" GYPSUM WALLBOARD.

H4 GARAGE SEPARATION WALLS AND CEILINGSS SHALL BE SHEATHED WITH 5/8" TYPE "X" GYPSUM WALLBOARD WITH TAPERED JOINTS.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CERAMIC TILE INSTITUTES MOST CURRENT HANDBOOK AND A.N.S.I. A108.1.

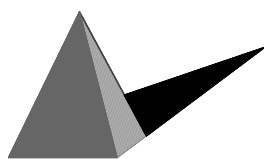
UNLESS NOTED OTHERWISE ON THE DRAWINGS, USE SOURCEBOOK OR "HONDESBORO" BACKING BOARD WHERE TILE IS TO BE APPLIED TO WALLS.

PROVIDE MATERIALS OBTAINED FROM ONLY ONE PURCHASER FOR EACH TYPE OF TILE AND COLOR TO MINIMIZE VARIATIONS IN APPEARANCE AND QUALITY.

GROUT JOINTS FOR MARBLE AND GRANITE TILE SHALL BE HELD AS TIGHT AS POSSIBLE AND SHALL BE UNIFORM IN WIDTH.

GROUT JOINTS FOR CERAMIC TILE SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS AND SHALL BE UNIFORM IN WIDTH.

WHERE TILE MEETS ANOTHER FLOORING MATERIAL (I.E., CARPET, WOOD), CONCEALED STRIPPING AS REQUIRED SHALL BE USED TO FORM THE TIGHTEST POSSIBLE JOINTS. DOOR THRESHOLDS SHALL BE PLACED AND CENTERED UNDER THE CLOSED DOOR LINE. EXPOSED SCREENS OR VALVES ARE NOT ACCEPTABLE.

[illegible][illegible]



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REVISIONS	CITY COMMENTS	2023-10-16	OWNER REVISIONS/CITY COMMENTS	2023-12-4
A				
B				
C				
D				
E				
F				
G				
H				
I				
J				
K				
L				
M				

SHEET CONTENTS:

SITE PLAN

JOB NO. :	22-04
DATE :	7-11-23
ISSUE :	PERMIT SUBMISSION
DRAWN :	MP
CHECKED :	AP

PROJECT:  
NEW ACCESSORY DWELLING UNIT FOR  
CAMPAGNET  
& CONNER  
6887 JEFFERSON ST., YOUNTVILLE CA  
APN: 026-028-014-000  
DESIGNER SIGNATURE:

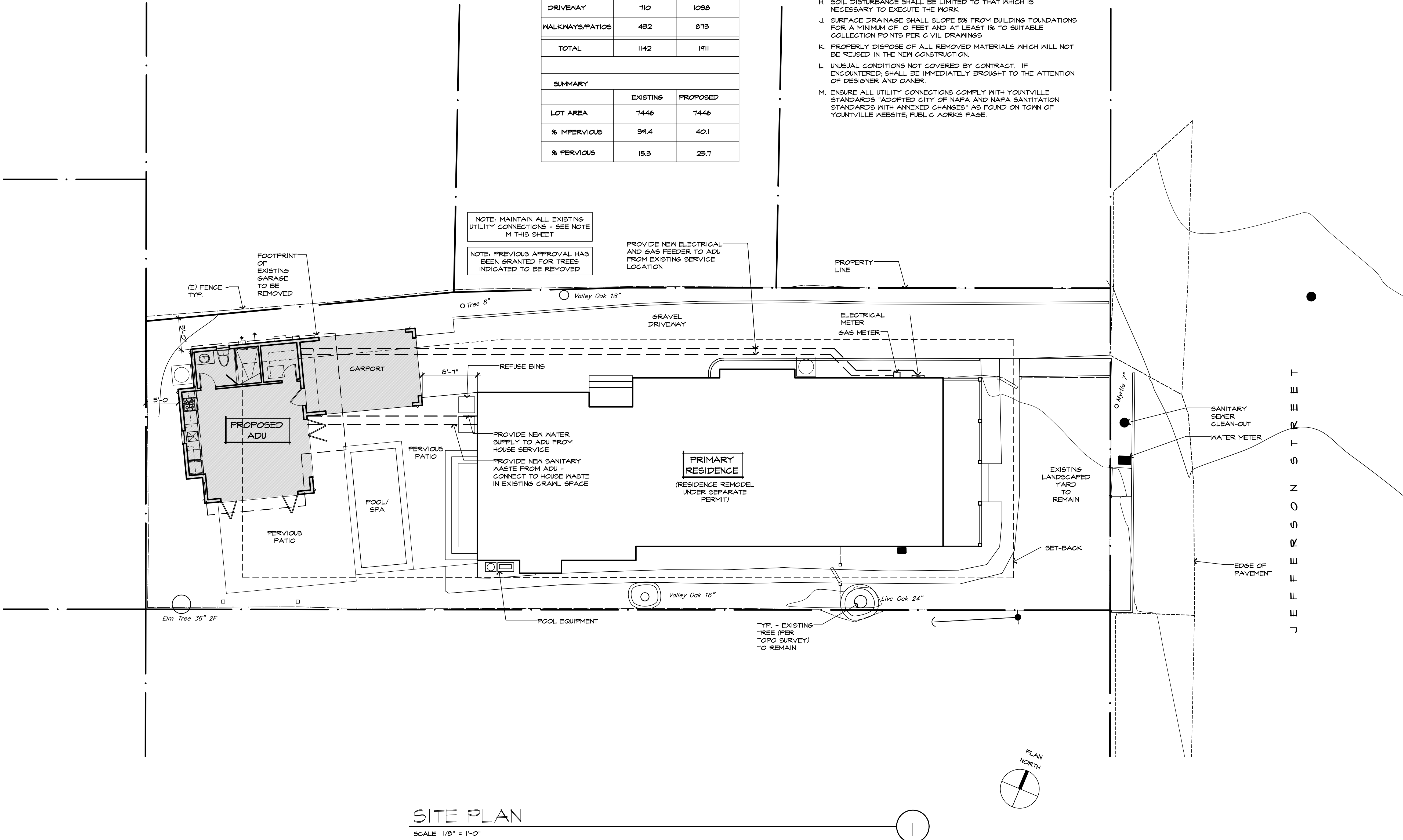
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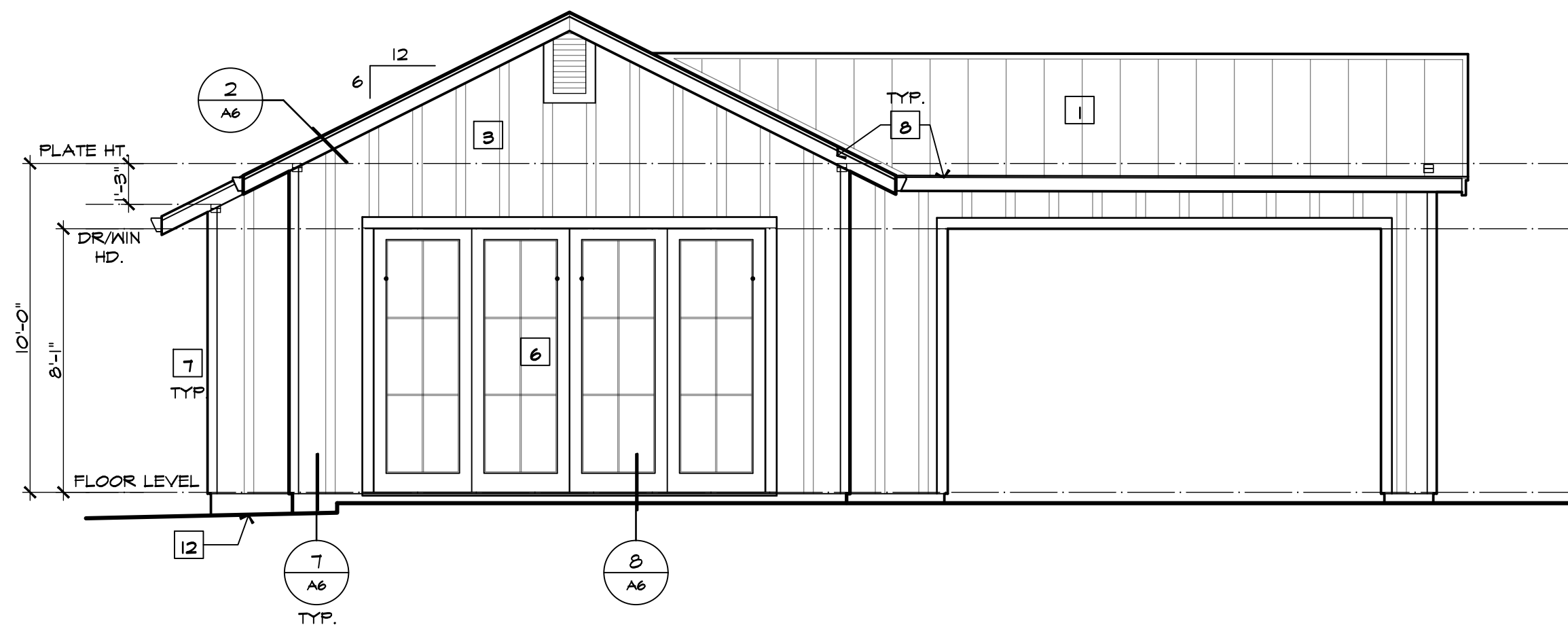
A3

PERVIOUS/IMPERVIOUS AREAS		
IMPERVIOUS		
	EXISTING	PROPOSED
GARAGE	530	-
PRIMARY RES	1843	1840
ADU	-	443
CARPORT	-	216
PORCHES/DECKS/ WALKWAYS	514	437
TOTAL	2937	2936
PERVIOUS		
	EXISTING	PROPOSED
DRIVEWAY	710	1038
WALKWAYS/PATIOS	432	875
TOTAL	1142	1913
SUMMARY		
	EXISTING	PROPOSED
LOT AREA	7446	7446
% IMPERVIOUS	39.4	40.1
% PERVIOUS	15.3	25.7

SITE GENERAL NOTES

- THIS SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES AND SUBSTRUCTURES.
- THIS PLAN IS NOT A GRADING AND DRAINAGE OR EROSION CONTROL PLAN.
- REFER TO SOILS REPORT BY SOILS ENGINEER FOR ANY SPECIAL CONDITIONS.
- ALL GRADING, SITE PREPARATION, PLACEMENT AND COMPACTION OF FILL IS TO BE DONE IN ACCORDANCE WITH CITY AND/OR COUNTY GRADING ORDINANCES.
- AT A MINIMUM, THE PAD GRADE UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A MINIMUM OF ONE AREA DRAIN WHICH SHALL BE PIPED TO THE PERIMETER FOUNDATION DRAINAGE SYSTEM.
- ALL DOWNSPOUTS TO DISCHARGE TO ADJACENT LANDSCAPE AREAS, MAINTAIN EXISTING ON SITE DRAINAGE.
- TAKE NECESSARY PRECAUTIONS TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION TO REMAIN.
- SOIL DISTURBANCE SHALL BE LIMITED TO THAT WHICH IS NECESSARY TO EXECUTE THE WORK.
- SURFACE DRAINAGE SHALL SLOPE 5% FROM BUILDING FOUNDATIONS FOR A MINIMUM OF 10 FEET AND AT LEAST 1% TO SUITABLE COLLECTION POINTS PER CIVIL DRAWINGS.
- PROPERLY DISPOSE OF ALL REMOVED MATERIALS WHICH WILL NOT BE REUSED IN THE NEW CONSTRUCTION.
- UNUSUAL CONDITIONS NOT COVERED BY CONTRACT. IF ENCOUNTERED, SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF DESIGNER AND OWNER.
- ENSURE ALL UTILITY CONNECTIONS COMPLY WITH YOUNTVILLE STANDARDS "ADOPTED CITY OF NAPA AND NAPA SANITATION STANDARDS WITH ANNEXED CHANGES" AS FOUND ON TOWN OF YOUNTVILLE WEBSITE, PUBLIC WORKS PAGE.

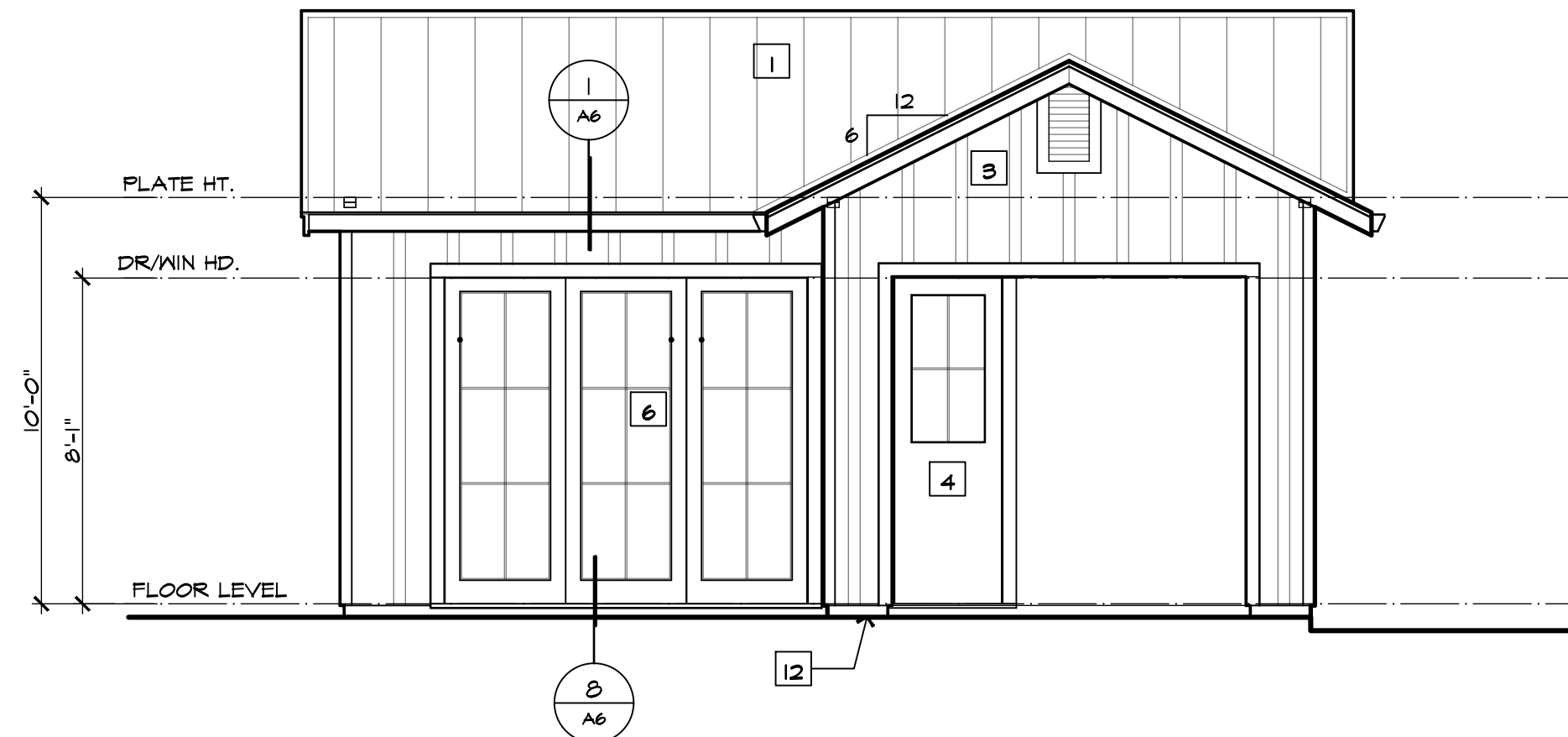




LEFT (SOUTH) ELEVATION

SCALE 1/4" = 1'-0"

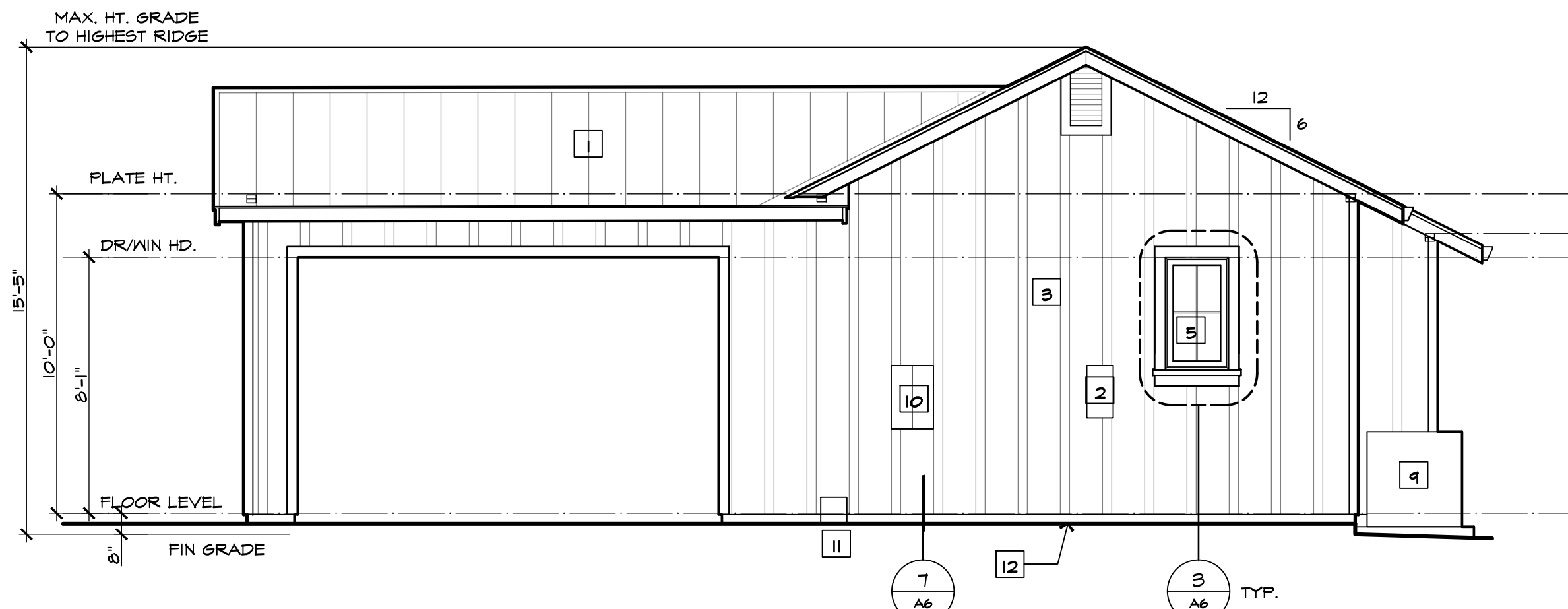
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FRONT (EAST) ELEVATION

SCALE 1/4" = 1'-0"

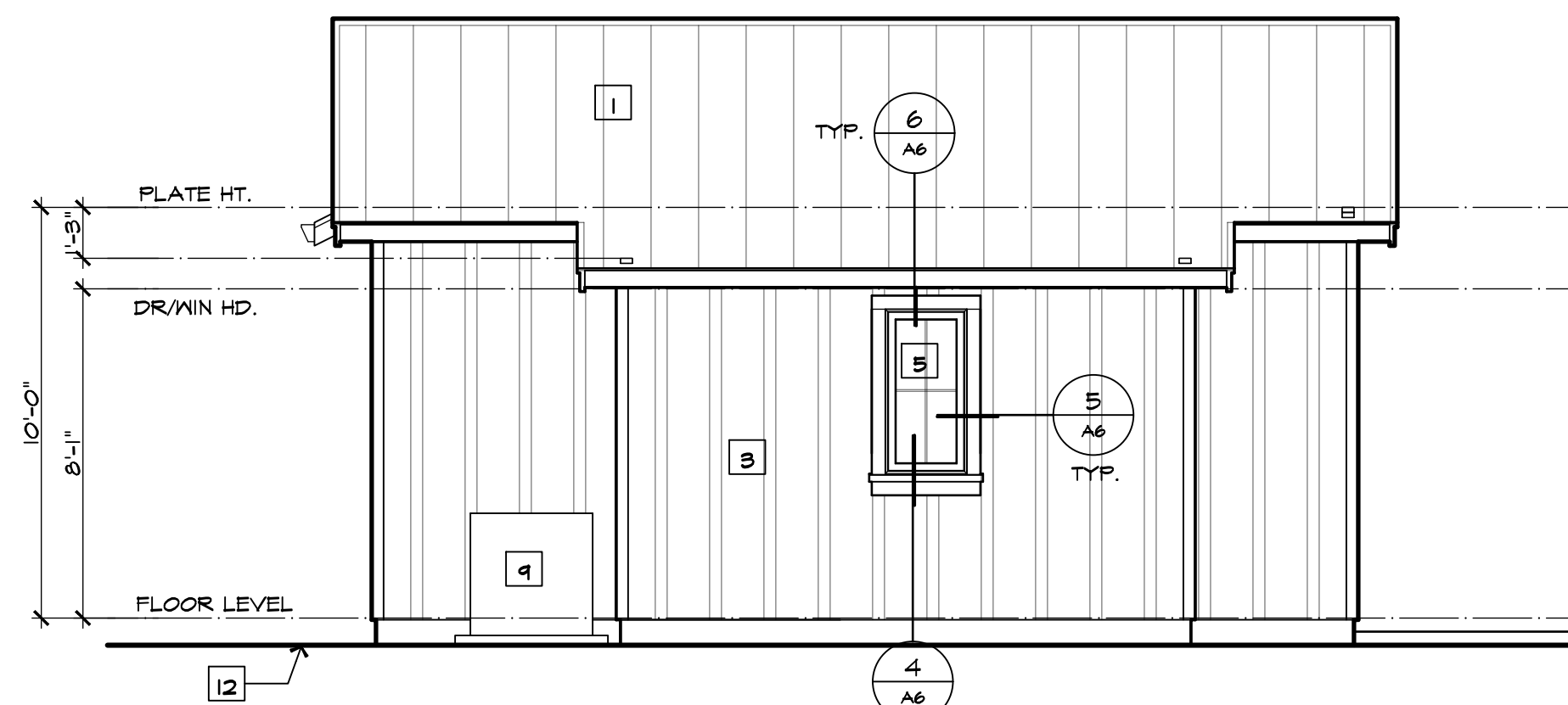
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RIGHT (NORTH) ELEVATION

SCALE 1/4" = 1'-0"

3



REAR (WEST) ELEVATION

SCALE 1/4" = 1'-0"

2

## GENERAL ELEVATION NOTES

- SEE ALSO GENERAL NOTES SHEET A2.
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER.
- ALIGN THE WINDOW HEADS WITH THE TOP OF DOORS TYPICAL. ± 8'-0" NOMINAL U.N.D. ON ALL BUILDING LEVELS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED DOOR MANUFACTURERS ROUGH OPENING SPECIFICATIONS.
- ALL DOWNSPOUTS TO DISCHARGE AS INDICATED ON CIVIL DRAWINGS; CONTRACTOR TO VERIFY DOWNSPOUT LOCATIONS.

## ELEVATION KEYNOTES

- STANDING SEAM METAL ROOF
- WATER HEATER LOCATION
- BOARD AND BATTEN SIDING WITH PAINT FINISH - SEE DETAILS
- SOLID CORE CLAD 1/2 FRENCH DOOR W/ TEMPERED GLASS
- DUAL GLAZED COMPOSITE WINDOW
- DUAL GLAZED TEMPERED SLIDING/FOLDING DOORS PER OWNER'S SELECTION
- 2X4 WOOD CORNER TRIM
- NEW FASCIA PER DETAILS
- A/C COMPRESSOR LOCATION
- ELECTRIC METER LOCATION
- GAS METER LOCATION
- FINISHED GRADE

## COLORS AND MATERIALS

SEE COLOR BOARD FOR PROPOSED COLORS AND MATERIALS.

## FLOOR PLAN NOTES

- SEE "GENERAL NOTES" SHEET A2 FOR ADDITIONAL INFORMATION.
- ALL FLOOR FINISHES ARE PER OWNER SELECTION.
- U.N.O. DIMENSIONS AT EXTERIOR WALLS ARE TO FACE OF PLANK/FACE OF FOUNDATION; AT INTERIOR PARTITIONS, DIMENSIONS ARE TO FACE OF STUD.
- U.N.O. WALL NIBS ADJACENT TO HINGE SIDE OF DOORS ARE 6"

## SYMBOLS LEGEND

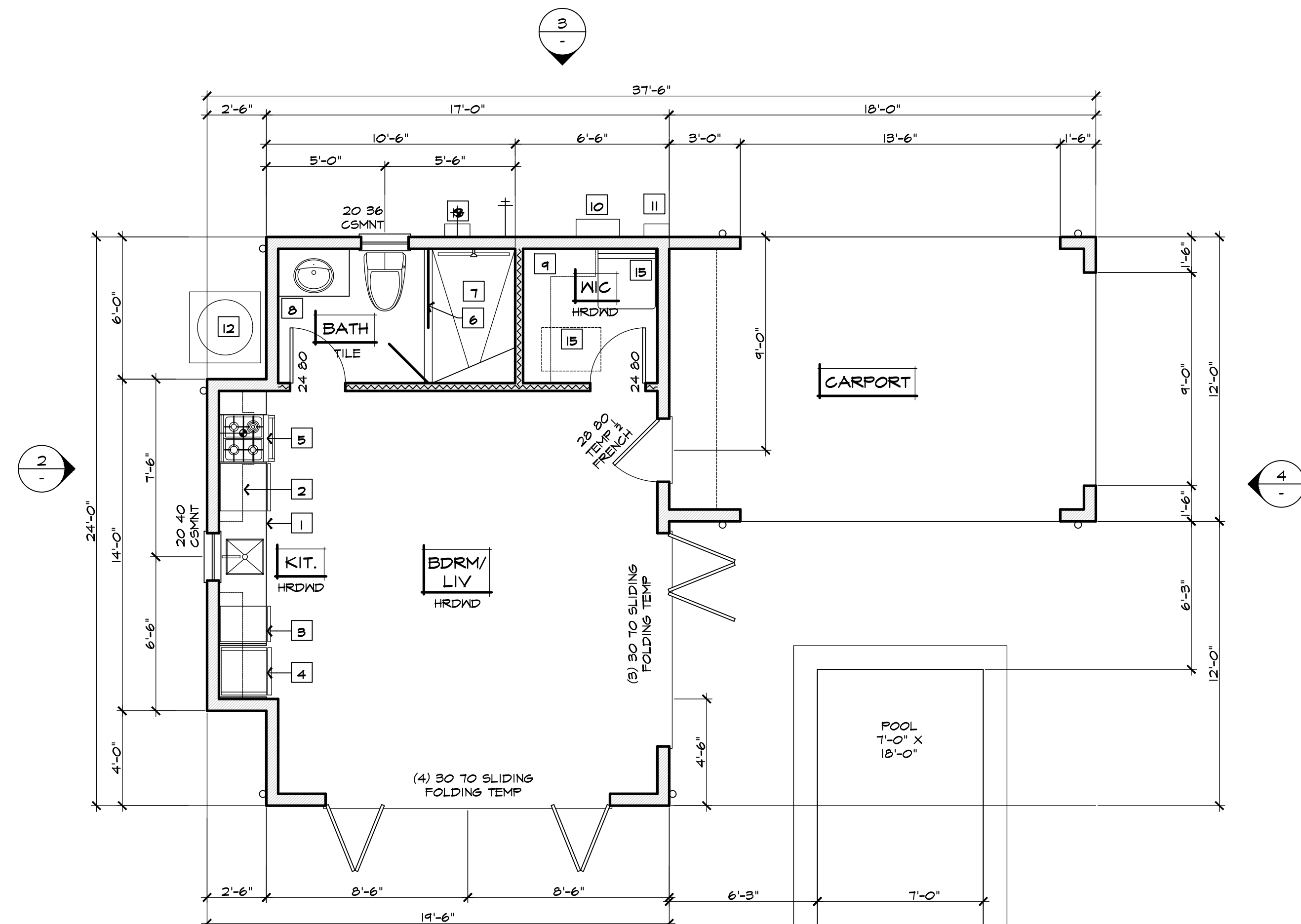
- ◆— GAS STUB OUT  
—X— FIREPLACE GAS KEY  
—+— HOSE BIB WITH BACK FLOW PREVENTOR

## WALL LEGEND

- NEW 2X6 WOOD FRAMED WALL CONSTRUCTION @ 16" O.C. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.  
— NEW 2X4 WOOD FRAMED WALL CONSTRUCTION @ 16" O.C. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.

## FLOOR PLAN KEYNOTES

- BASE CABINETS.
- UPPER CABINETS.
- ENERGY STAR 18" DISHWASHER AS SELECTED BY OWNER.
- ENERGY STAR 24" BUILT IN REFRIG/FREEZER AS SELECTED BY OWNER.
- 24" GAS RANGE WITH HOOD OVER. VENT THRU WALL TO EXTERIOR.
- TEMPERED CLEAR GLASS SHOWER ENCLOSURE.
- TILE SHOWER WITH SEAT - EXTEND TILE MIN. 12" ABOVE DRAIN INLET.
- VANITY - CONSULT W/ OWNER FOR STYLE AND FINISHES.
- BUILT-IN STORAGE - CONSULT OWNER FOR REQUIREMENTS.
- ELECTRICAL METER LOCATION.
- GAS METER LOCATION.
- AIR CONDITIONER CONDENSER UNIT LOCATION.
- WATER HEATER LOCATION.
- PROVIDE PLUMBING AND ELECTRICAL FOR STACKED WASHER AND DRYER - SEE ALSO ELECTRICAL PLANS.
- 22' X 30" ATTIC ACCESS W/ GASKETED DOOR.



FLOOR PLAN

SCALE 1/4" = 1'-0"

1

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REVISIONS:	CITY COMMENTS	2023-10-16	OWNER REVISIONS/CITY COMMENTS	2023-12-4
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FLOOR PLAN &  
EXTERIOR  
ELEVATIONS

JOB NO. :	22-04
DATE :	7-11-23
ISSUE :	PERMIT SUBMISSION
DRAWN :	MP
CHECKED :	AP

PROJECT: NEW ACCESSORY DWELLING UNIT FOR  
**CAMPANER & CONNER**  
6887 JEFFERSON ST., YOUNTVILLE CA  
APN: 026-026-014-000  
DESIGNER SIGNATURE:

SHEET NO.:

A4



## ROOF PLAN GENERAL NOTES

- SEE ALSO GENERAL NOTES SHEET A2.
- UNLESS OTHERWISE NOTED, ROOFING SHALL BE STANDING SEAM METAL OVER MANUFACTURER RECOMMENDED UNDERLAYMENT.
- ALL ROOF PENETRATIONS, PIPES, VENTS, FLUES, ETC., TO THE EXTENT POSSIBLE SHALL BE BEHIND MAIN RIDGE OF ROOF OR SO AS NOT TO BE VISIBLE FROM FRONT OF HOUSE. CONTRACTOR TO VERIFY ALL ROOF PENETRATION LOCATIONS WITH OWNER BEFORE START OF CONSTRUCTION.
- ENGINEER THE ROOF SYSTEM TO HANDLE AN ADDITIONAL LOAD AS DETERMINED BY A STRUCTURAL ENGINEER TO ACCOMMODATE THE ADDITIONAL WEIGHT OF REQUIRED PHOTOVOLTAIC (PV) SYSTEM. SEE ELECTRICAL NOTES FOR FURTHER REQUIREMENTS.
- ALL DOWNSPOUTS TO DISCHARGE TO ADJACENT LANDSCAPE AREAS.

## SHEETMETAL / FLASHING NOTES

- UNLESS OTHERWISE NOTED, PROVIDE 26 GA GALVANIZED SHEET METAL (6.5M) OR COPPER FLASHING AT ALL VALLEYS, EAVES, ROOF PENETRATIONS AND ROOF/WALL INTERSECTIONS. (TYPICAL)
- ALL FLASHINGS TO MEET REQUIREMENTS OF ASTM A525, MILL PREPARED TO RECEIVE PAINT FINISH, FABRICATED AND INSTALLED IN ACCORDANCE WITH LATEST EDITION OF SMOAQA REQUIREMENTS.
- PROVIDE GALVANIZED SHEET METAL (6.5M) OR COPPER SIDE WALL FLASHING, FULL PERIMETER OF CHIMNEYS, AND 6.5M OR COPPER SADDLE AT HIGH SIDE.
- PROVIDE 6.5M OR COPPER GUTTERS CONTINUOUS AT ALL EAVES, PROVIDE EXPOSED 6.5M OR COPPER DOWNSPOUTS AS NOTED ON ROOF PLAN. SEE DATA FOR GUTTER PROFILE.

## VENTILATION REQUIREMENTS

### ATTIC SPACE VENTILATION

ATTIC VENTILATION SHALL BE PROVIDED PER CRC R906. ALL VENTILATORS IN CALCULATIONS ARE BY NOTED MANUFACTURERS. NET FREE AREAS HAVE BEEN TAKEN DIRECTLY FROM MANUFACTURERS CATALOGS. CONTRACTOR MAY SUBSTITUTE DIFFERENT MANUFACTURER THAN SHOWN PROVIDED THAT THE PRODUCTS MEET OR EXCEED NET FREE AREAS PER UNIT SHOWN IN THESE CALCULATIONS. PROVIDE MINIMUM 1/8" IN. AND MAXIMUM 1/4 IN. MESH ON THE VENTILATION HOLES OF THE ATTIC SPACE.

### VENTING AT CALIFORNIA FRAMING

WHERE CALIFORNIA FRAMING IS INSTALLED OVER ROOF SHEATHING, ENSURE HOLES ARE PROVIDED IN THE UPPER AND LOWER PORTIONS OF THE SHEATHING TO ENSURE ADEQUATE CROSS VENTILATION. THE HOLES SHALL PROVIDE THE REQUIRED NET FREE VENT AREA OF THE PORTION OF THE ATTIC SEPARATED FROM THE MAIN ATTIC BY THE SHEATHING. HOLES SHALL BE EVENLY DISTRIBUTED BETWEEN THE UPPER AND LOWER PORTIONS OF THE ATTIC, AND ACROSS RAFTER/TRUSS BAYS.

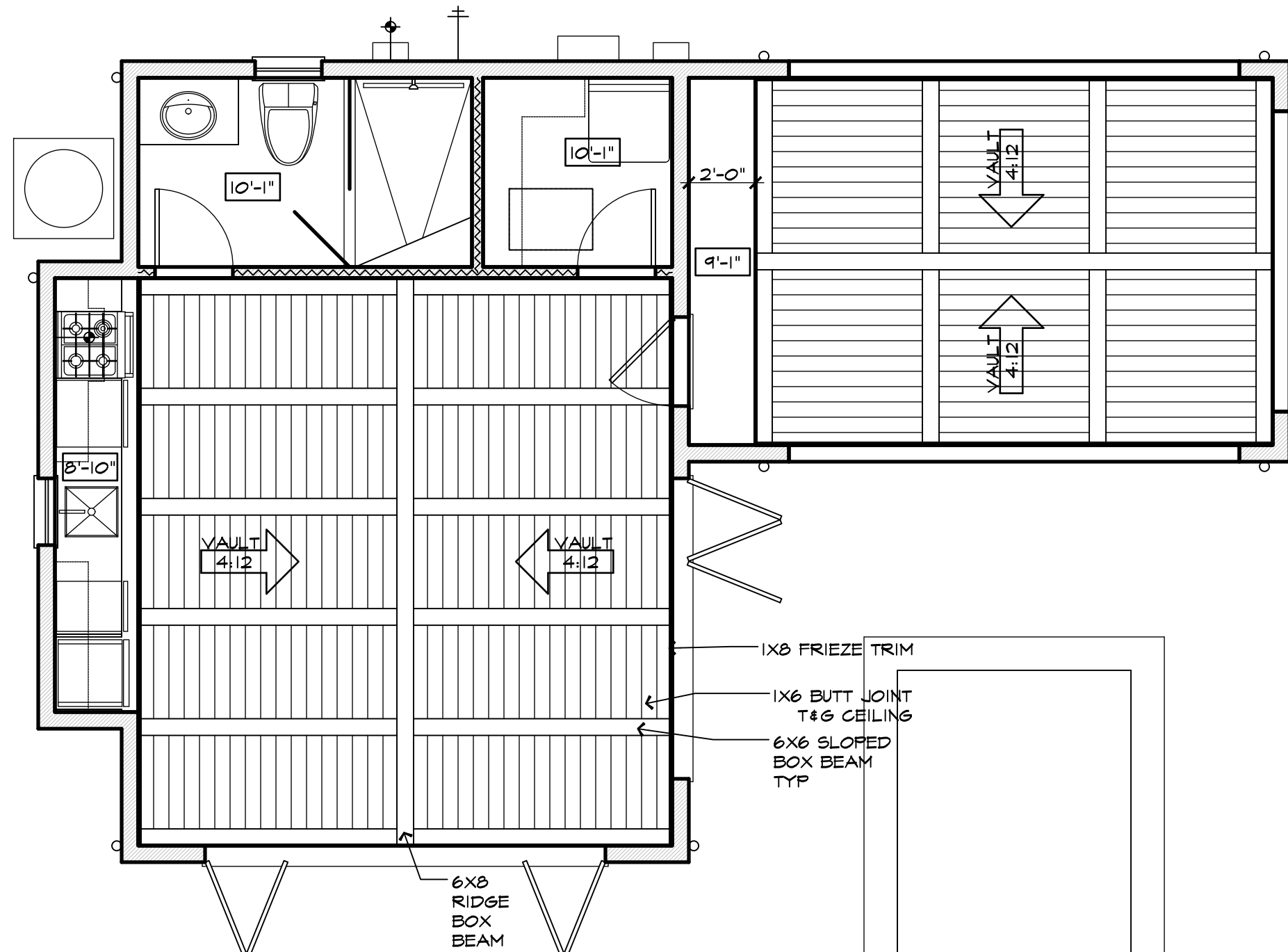
VENTED ATTIC SPACE CALCULATIONS - ZONE X				
VENTILATION REQUIRED				
AREA TO BE VENTED		VENTILATION RATE		REQUIRED VENT AREA
660 SQ.FT. (45040 SQ.IN.)		1/300 LOWER ROOF	31T SQ.IN. LOWER	
		1/300 UPPER ROOF	31T SQ.IN. UPPER	
VENTILATION PROVIDED LOWER				
VENT TYPE	SIZE	AREA/VENT	QUANTITY	TOTAL
RAFTER BAY VENT HOLES	(8) 2" DIAH.	9.49 SQ. IN.	85	890.05 SQ.IN.
NOTE: LOWER VENTILATION CALCULATIONS ARE BASED ON 2" DIA. HOLES W/1/4" MESH BEHIND HAVING A NET FREE AREA OF 9.14 SQ. IN. PER HOLE. EACH BAY TO HAVE 8 HOLES GIVING A NET FREE AREA OF VENTILATION PER BAY OF 4.49 SQ. IN.				
VENTILATION PROVIDED UPPER				
VENT TYPE	LENGTH	AREA/LIN. FT.		TOTAL
COBRA RIDGE VENT	40 LIN.FT.	16.4 SQ.IN.		676 SQ.IN.
NOTE: UPPER VENTILATION CALCULATIONS ARE BASED ON COBRA RIDGE VENTS GIVING A NET FREE AREA OF 16.4 SQ. IN. CONTRACTOR MAY SUBSTITUTE FOR ANOTHER MANUFACTURER MEETING SAME OR GREATER NET FREE AREAS.				

## ELECTRICAL LEGEND

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>RECESSED WALL WASHER FIXTURE</li> <li>SURFACE-MOUNTED LIGHT (CEILING)</li> <li>LIGHTING OUTLET BOX FOR PADDLE FAN SUPPORT</li> <li>RECESSED LIGHT FIXTURE (MP INDICATES WATER PROOF)</li> <li>DUPLEX OUTLET WITH GROUND-FAULT INTERRUPTER AT 15' U.N.O.</li> <li>STANDARD DUPLEX OUTLET AT 15' U.N.O.</li> <li>STANDARD DUPLEX OUTLET -1/2 HOT AT 15' A.F.F. U.N.O.</li> <li>STANDARD WATERPROOF DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER AT 15' U.N.O.</li> <li>STANDARD FLOOR OUTLET</li> <li>STANDARD FLOOR OUTLET - 1/2 HOT</li> <li>STANDARD 220 VOLT OUTLET AT 15' A.F.F.</li> <li>STANDARD QUADRAPLEX OUTLET</li> <li>COMBINATION SMOKE / CARBON MONOXIDE DETECTOR</li> <li>CARBON MONOXIDE DETECTOR - WALL MOUNTED AT 15'</li> <li>STANDARD LIGHT SWITCH</li> <li>STANDARD LIGHT SWITCH W/ MANUAL ON MOTION SENSOR (VACANCY SENSOR)</li> <li>STANDARD SWITCH W/ DIMMER CONTROL</li> <li>STANDARD SWITCH TO EXTERIOR LIGHTING</li> <li>BUTTON SWITCH - DOOR JAMB OPERATED</li> </ul> | <ul style="list-style-type: none"> <li>BRACKET/SCONCE LIGHT (WALL MOUNTED)</li> <li>LED STRIP FIXTURE</li> <li>UNDER COUNTER LED STRIP LIGHTING</li> <li>PENDANT FIXTURE</li> <li>TELEVISION LOCATION - CONSULT OWNER FOR EXACT POWER AND OTHER WIRING REQUIREMENTS</li> <li>AUTOMOBILE EV CHARGER OUTLET</li> <li>THERMOSTAT J-BOX MOUNTED AT 48" A.F.F.</li> <li>CEILING MOUNTED EXHAUST FAN</li> <li>PANASONIC "WHISPER GREEN SELECT" CONTINUOUS VENTILATION FAN.</li> <li>PANASONIC "SELECT CYCLER" MODEL SAC52K-06 CONT. VENT FAN CONTROLLER.</li> <li>FUSED DISCONNECTION SWITCH</li> <li>ELECTRICAL SUB-PANEL</li> <li>GARBAGE DISPOSAL</li> <li>SURFACE MOUNTED LED UTILITY FIXTURE - 2 TUBE BULB</li> <li>WHOLE HOUSE FAN. PROVIDE WALL MOUNT CONTROL. SEE TITLE 24</li> <li>CEILING PADDLE FAN</li> <li>PROVIDE SWITCH/LIGHT/OUTLET IN ATTIC</li> <li>PROVIDE SWITCH/LIGHT/OUTLET IN CRAWL SPACE</li> </ul> |
|---|---|

## ROOF PLAN

SCALE 1/4" = 1'-0"

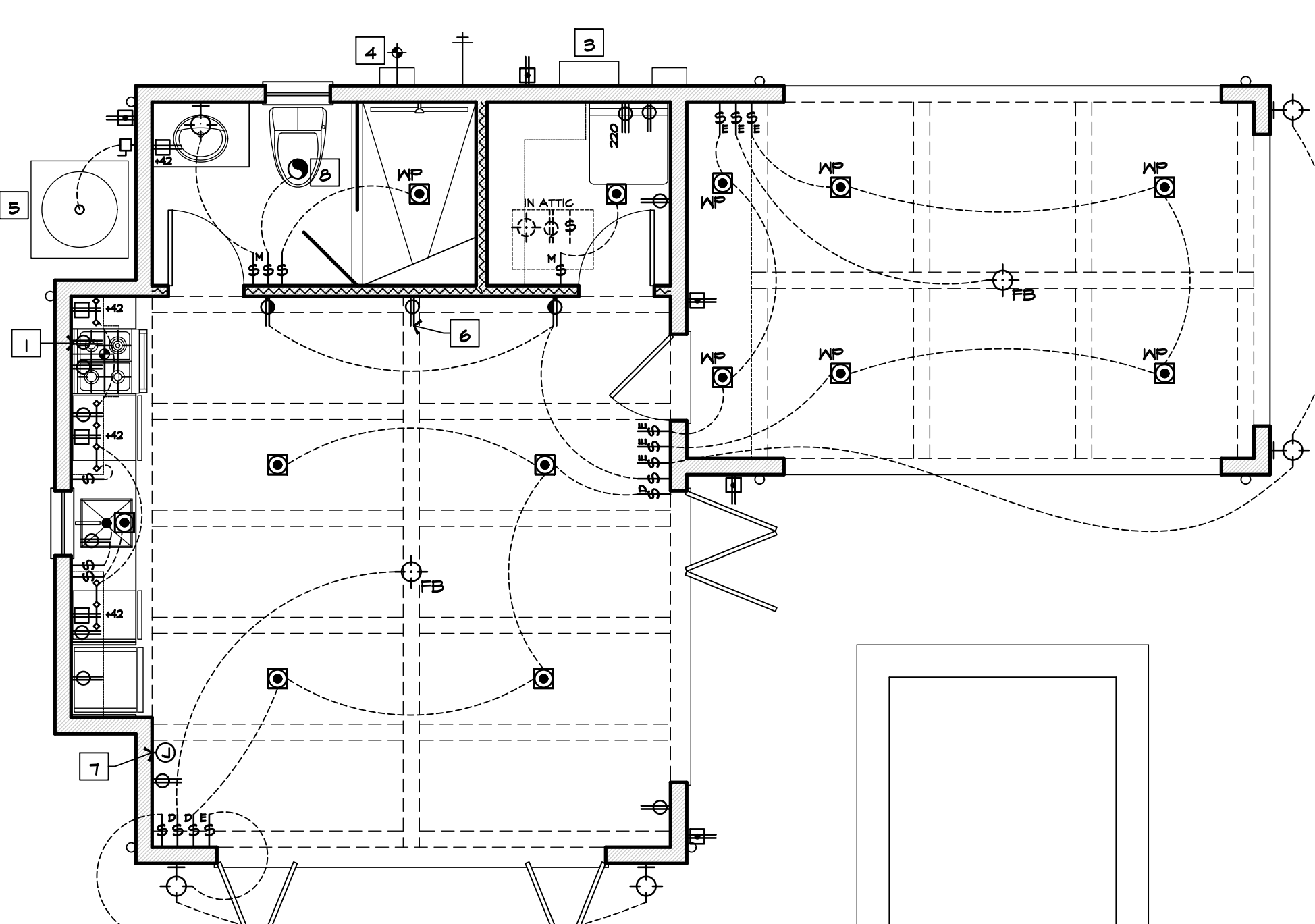


## REFLECTED CEILING PLAN

SCALE 1/4" = 1'-0"

## ELECTRICAL PLAN

SCALE 1/4" = 1'-0"



## ELECTRICAL NOTES

- SEE ALSO GENERAL NOTES SHEET A2. CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL CONFORM TO ALL APPLICABLE LOCAL AND STATE CODES, 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA ELECTRICAL CODE, THE 2022 CALIFORNIA ENERGY CODE, AND THE CALIFORNIA FIRE CODE (CFC).
  - ELECTRICAL SYSTEM SHALL BE DESIGN-BUILD. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL DOCUMENTATION AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION IN ORDER TO OBTAIN ALL NECESSARY PERMITS.
  - CONSULT WITH OWNER FOR SPECIALTY ELECTRICAL FEATURES SUCH AS CENTRAL VACUUM SYSTEM, INTERCOM, SECURITY SYSTEM, OR SMART HOME FEATURES PRIOR TO CONSTRUCTION.
  - ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE POWER TO ALL MECHANICAL SYSTEMS AND APPLIANCES AS REQUIRED PER MANUFACTURER'S SPECIFICATIONS.
  - ALL ELECTRICAL EQUIPMENT SHALL BE UL LISTED OR CERTIFIED BY A NATIONALLY RECOGNIZED TESTING AGENCY.
  - ELECTRICAL SYSTEM SHALL HAVE A CONCRETE ENCLOSED ELECTRODE (UFER) ELECTRICAL GROUND.
  - ALL CIRCUITS ARE REQUIRED TO BE LABELED AND PROPERLY IDENTIFIED AT THE SUB-PANEL. VERIFY PANEL LOCATIONS WITH OWNER PRIOR TO COMMENCING THE WORK.
  - PROVIDE A WORKING SPACE (36 INCHES DEEP, 30 INCHES WIDE, 6 1/2 FEET TALL) IN FRONT OF THE SUB-PANEL.
  - SERVICE DISCONNECTION MEANS SHALL BE A MINIMUM RATINGS OF 100 AMP, 3-WIRE (CEC 250.11(C)). CONTRACTOR TO SPECIFY SIZE OF THE ELEC. SERVICE PER CEC 220.240.2.4 AND 250.15. CONDUIT PANEL, 15 MIN. 100 AMP AND SIZED ADEQUATELY FOR THE SCOPE OF WORK.
  - PROVIDE ACCOMMODATION FOR PV SYSTEM AS FOLLOWS:
    - ELECTRIC GROUNDING AND CABLE PULL STRINGS SHALL BE INSTALLED FROM THE ROOF/ATTIC AREA TO THE BUILDING'S MAIN ELECTRICAL PANELS
    - AN AREA SHALL BE PROVIDED NEAR THE MAIN ELECTRICAL PANEL FOR THE INSTALLATION OF AN INVERTER REQUIRED TO CONVERT THE DIRECT CURRENT OUTPUT FROM THE PHOTOVOLTAIC PANELS TO ALTERNATING CURRENT
  - CONTRACTOR TO CONFIRM WITH OWNER HOME-RUN LOCATION FOR CABLE/TELEPHONE/WIRELESS ROUTER AND ANY SPECIALIZED EQUIPMENT RELATING TO A/V OR SMART HOME EQUIPMENT.
- 240V OUTLETS REQUIRE METAL BOXES. PROVIDE METAL OR ONE-HOUR RATED BOXES AT WALLS AND CEILINGS BETWEEN THE GARAGE AND HOUSE.
  - PROVIDE (1) SWITCH TO LIGHT AND (1) OUTLET TO UNDER FLOOR CRAWL SPACES AND ATTIC SPACES AT EACH ACCESS POINT.
  - ALL NOTED HEIGHTS FOR ELECTRICAL BOXES TO BE FROM FINISHED FLOOR TO BOTTOM OF BOXES.
  - OUTLET BOXES ON OPPOSITE SIDES OF FIRE RATED WALLS TO BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24".
  - PROVIDE GFCI PROTECTED OUTLETS OUTDOORS, IN BATHROOMS, IN THE GARAGE (NON-DEPICATED) AND IN THE KITCHEN.
  - ALL AREAS ON A KITCHEN COUNTER TO BE WITHIN 24" OF AN ELECTRICAL OUTLET. ISLAND AND PENINSULAR COUNTERS 12" AND WIDER SHALL HAVE AT LEAST 1 RECEPTACLE OUTLET FOR EACH 48" OF COUNTER TOP.
  - ANY POINT ALONG A WALL IN A HABITABLE ROOM MUST BE WITHIN 6' OF AN OUTLET.
  - RECEPTACLES (15-20 AMP, 15V OR 250V) INSTALLED IN NET LOCATIONS (OUTDOOR) SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED (i.e. BUBBLE COVER TYPE). CEC 406.8 (B)(2)
  - ALL 15 AMP AND 20 AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. CEC 406.11
  - ALL 120V SINGLE PHASE 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS AND DEVICES INSTALLED IN DWELLINGS UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER. COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12B
  - ALL NEW 15 AND 20 AMP, 125 VOL RECEPTACLES IN AREAS OF THE BASEMENT NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS AND WORK AREAS TO BE GFCI PROTECTED. CEC 210.8
  - ALL NEW 15 AND 20 AMP, 125 VOL RECEPTACLES IN AREAS OF THE BASEMENT NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS AND WORK AREAS TO BE GFCI PROTECTED. CEC 210.8
  - EV CHARGER - NEWLY CONSTRUCTED DWELLINGS ATTACHED PRIVATE GARAGES SHALL COMPLY WITH EV INFRASTRUCTURE REQUIREMENTS IN CHAP. 4, DIVISION 4.1 OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE PER RS14.2.
- ALL LIGHTING, INTERIOR AND EXTERIOR, TO BE HIGH EFFICACY PER CEC TABLE 150.0(K)(A)
  - LIGHTING INSTALLED IN HABITABLE SPACES SUCH AS BEDROOMS, DINING ROOMS, LIVING ROOMS, SUNROOMS, KITCHENS AND SIMILAR SPACES SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS. EXCEPTIONS - CLOSETS LESS THAN 70SF AND HALLWAYS
  - LIGHTING INSTALLED IN BATHROOMS, ATTACHED AND DETACHED GARAGES, UTILITY, AND LAUNDRY ROOMS SHALL HAVE AT LEAST ONE LIGHT FIXTURE CONTROLLED BY A VACANCY SENSOR
  - ALL LIGHTING INSTALLED IN CLOSETS SHALL BE LED LISTED FOR STORAGE AREA
  - ANY ROOM GREATER THAN 30 SF, WHICH DOES NOT HAVE PERMANENTLY INSTALLED LIGHTING AND HAS RECEPTACLES INSTALLED, SHALL HAVE AT LEAST ONE SWITCHED RECEPTACLE INSTALLED
  - ALL EXTERIOR LUMINAIRES SHALL HAVE ALL OF THE FOLLOWING CONTROLS PER CEC 150.0(K)(A): MOTION SENSORS PLUS PHOTO-CONTROL OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) PLUS A MANUAL ON/OFF SWITCH THAT DOES NOT OVERRIDE THE "ON" ON THE AUTOMATIC CONTROLS
  - LIGHT FIXTURES ABOVE THE TUB/SHOWER AND ON THE EXTERIOR OF THE BUILDING SHALL BE MET OR DAMP LOCATION RATED PER CEC 410.10(A) AND (D)
  - VACANCY SENSOR - MANUAL ON MOTION SENSOR SWITCH SHALL HAVE A MANUAL ON/OFF SWITCH THAT DOES NOT OVERRIDE THE "ON" ON THE AUTOMATIC CONTROLS
  - LIGHT FIXTURES SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINAIRES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINAIRES TO BE ALWAYS ON.
- SMOKE AND CARBON MONOXIDE ALARMS ARE 120V HARD-WIRED/INTERCONNECTED WITH BATTERY BACK-UP AND ARE AUDIBLE IN ALL SLEEPING ROOMS.
  - PROVIDE SMOKE/CARBON MONOXIDE ALARMS IN ALL BEDROOMS AND IN THE HALLWAY ADJACENT TO BEDROOMS AND AT EACH FLOOR INCLUDING BASEMENTS PER CRC R314 AND R315.
  - WHERE ALTERATIONS, REPAIRS, OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS PER R314.2.2.
  - SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECT. R314.3.
  - COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS PER R314.3.

## ELECTRICAL PLAN KEYNOTES

- MOUNT HIGH FOR VENT HOOD
- NOT USED
- ELECTRICAL SERVICE LOCATION - INCLUDING 100 A PANEL
- WATER HEATER - CONFIRM EXACT REQUIREMENTS W/ MANUFACTURER
- A/C LOCATION
- PROVIDE POWER HIGH FOR WALL MOUNTED MINI-SPLIT HEAT PUMP UNIT
- CONTROLLER/THERMOSTAT FOR HEAT PUMP
- PROVIDE COMBINATION FAN/HEAT LIGHT AT BATHROOM WITH WALL MOUNTED CONTROLLER

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PROJECT: NEW ACCESSORY DWELLING UNIT FOR CAMPAGNET & CONNER  
6887 JEFFERSON ST., YOUNTVILLE CA  
APN: 056-026-014-000  
DESIGNER SIGNATURE:

## SHEET NO.:

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NOT USED  
SCALE : 1 1/2" = 1'-0"

12

NOT USED  
SCALE : 1 1/2" = 1'-0"

9

WINDOW HEAD  
SCALE : 3" = 1'-0"

6

TYP. WINDOW TRIM ELEVATION  
SCALE : 1 1/2" = 1'-0"

3

NOT USED  
SCALE : 1 1/2" = 1'-0"

11

SILL AT MULTI-FOLD PATIO DOOR  
SCALE : 1 1/2" = 1'-0"

8

WINDOW JAMB  
SCALE : 3" = 1'-0"

5

TYP. RAKE  
SCALE : 1 1/2" = 1'-0"

2

NOT USED  
SCALE : 1 1/2" = 1'-0"

10

TYPICAL FOUNDATION TO WALL  
SCALE : 1 1/2" = 1'-0"

7

WINDOW SILL  
SCALE : 3" = 1'-0"

4

TYP. EAVES  
SCALE : 1 1/2" = 1'-0"

1

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DETAILS

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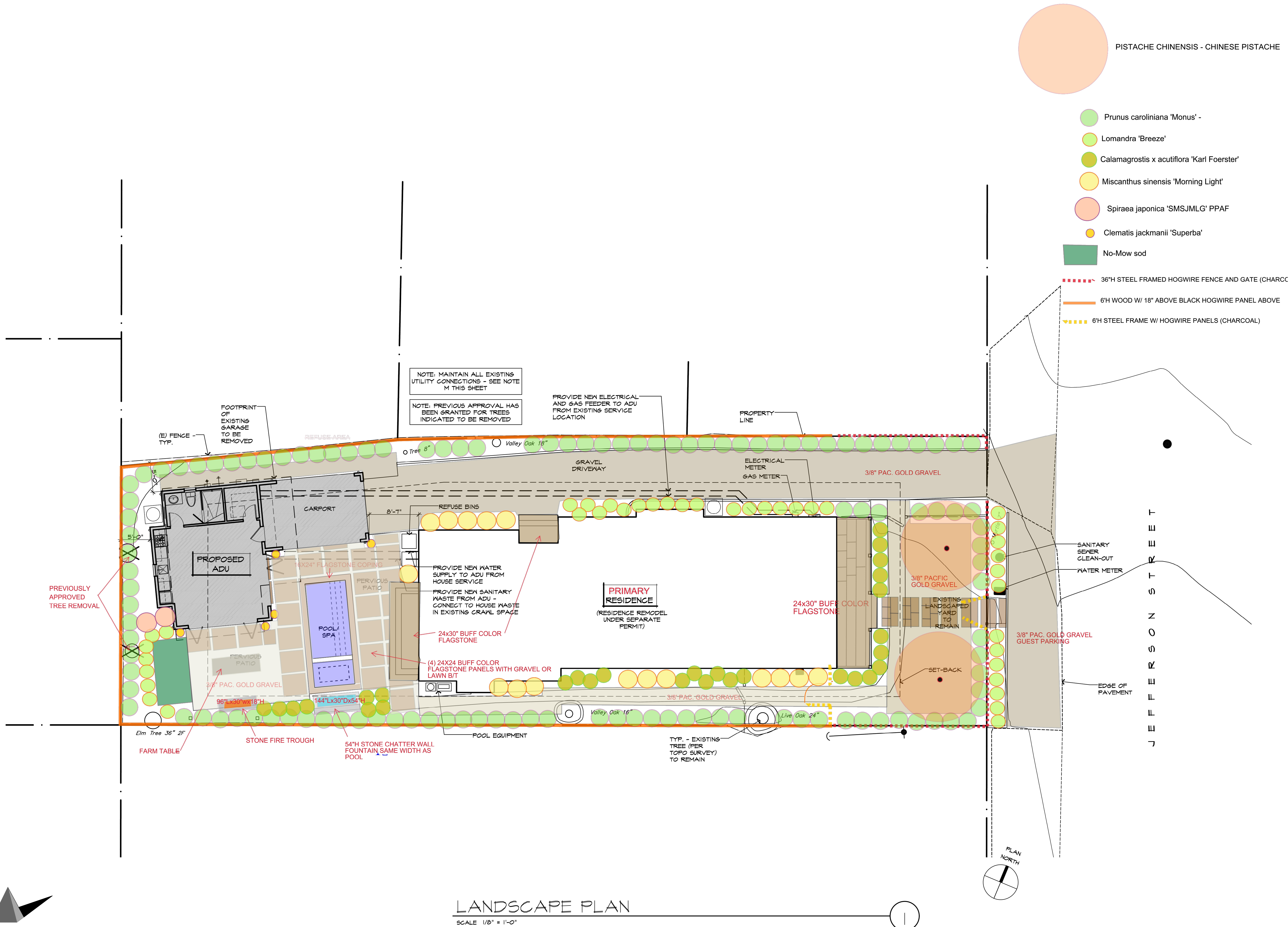
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& CONNER**  
6801 JEFFERSON ST., TOYNTVILLE CA  
APN: 056-026-014-000  
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**LANDSCAPE PLAN**

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