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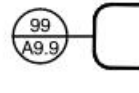
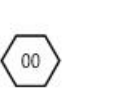

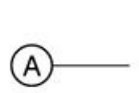



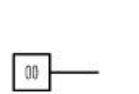
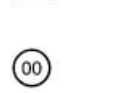

GENERAL NOTES

1. The work included under this contract consist of all labor materials, transportation, tools and equipment necessary for the construction of the project leaving all work ready for use.
2. All construction to conform to; 2022 California Building Code, 2022 California Residential Code, 2022 California Mechanical Code, 2022 California Plumbing Code, 2022 California Electric Code, 2022 California Green Building Standards Code, 2022 California Energy Code, and 2022 California Fire Code; fire safety standards and any other local governing codes and ordinances. In the event of conflict, the most stringent requirements shall apply. in the event of conflict, the most stringent requirements shall apply.
3. The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All demolition and all new work necessary to allow for a finished job in accordance with the intention of the drawing is included regardless of whether shown on the drawings or mentioned in the notes. All work is new, U.O.N.
4. Any errors, omissions or conflicts found in the various parts of the construction documents shall be brought to the attention of the architect and the owner for clarification before proceeding with the work.
5. The general contractor shall maintain a current and complete set of the construction documents on the job site during all phases of construction for use of all the trades and shall provide all the subcontractors with current construction documents as required.
6. The general contractor shall verify and assume responsibility for all dimensions and site conditions. The general contractor shall inspect the existing premises and take note of existing conditions prior to submitting prices. No claim shall be allowed for difficulties encountered which could have reasonably been inferred from such examination.
7. Written dimensions take precedence. Do not scale drawings.
8. All dimensions to and from new construction when shown in plan are to face of concrete, face of masonry, centerline, unless otherwise noted.
9. All dimensions on reflected ceiling or electrical plans are from face of finish or center line of column to center line of fixture or group of fixtures.
- 10.All vertical dimensions are to face of finish, finish floor, unless otherwise noted.
- 11.All dimensions noted "verify" and "V.I.F." are to be checked by contractor prior to construction. Immediately report any variances to the architect for resolution.
- 12.Interior walls are 2x4 or 2x6 wood studs @ 16" O.C. unless otherwise noted and all exterior wall are 2x6 wood studs @ 16" O.C. unless otherwise noted.
- 13.Contractors shall provide all seismic bracing and hold-down clips as required by code for all suspended ceiling and soffit framing conditions.
- 14.Coordinate all work with existing conditions, including but not limited to: irrigation pipes, electrical conduit, water lines, gas, lines, drainage lines, etc.
- 15.Provide adequate temporary support as necessary to assure the structural value or integrity of the building.
- 16.Protect all existing building and site conditions to remain including walls, cabinets, finishes, trees and shrubs, paving, etc.
- 17.Details shown are typical. Similar details apply in similar conditions.
- 18.Verify all architectural details with structural, and design/build drawings before ordering or installation of any work.
- 19.Where locations of windows and doors are not dimensioned, they shall be centered in the wall or placed two stud widths from adjacent wall as indicated on the drawings.
- 20.All required exits shall be operable from inside, without the use of key or special knowledge.
- 21.All changes in floor materials occur at centerline of door or framed opening unless otherwise indicated on the drawings.
- 22.Install all fixtures, equipment and materials per manufacturer's recommendations.
- 23.Verify clearances for flues, vents, chases, soffits, fixtures, etc. before any construction, ordering of, or installation of any items of work.
- 24.Sealant, caulking and flashing, etc. shown on drawings are not intended to be inclusive. Follow manufacturer's installation recommendations and standard industry and building practices.
- 25.All roof deck penetrations and exterior wall openings shall be guaranteed by the contractor to be water tight for a minimum period of one year after substantial completion of all work under this contract.
- 26.The general contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise a strict control over job cleaning to prevent any direct debris or dust from affecting, in any way, finished areas in or outside job site.
- 27.Contractors shall leave premises and all affected areas clean and orderly, ready for occupancy. This includes cleaning of all glass (inside and outside) and frames, both new and existing.
- 28.Install smoke detectors in accordance with the specifications and in conformance with local fire marshal requirements.
- 29.All exterior doors and windows are to be weather stripped unless otherwise noted in door details.
- 30.Glass subject to human impact shall be of safety glazing material to meet state and federal requirements.
31. Any survey monuments within the area of construction shall be preserved or reset by a registered civil engineer or a licensed land surveyor.
32. Provide shop drawings for all millwork, metal work, doors and windows and custom items.
- 33.Contractors are responsible for reviewing and complying with requirements of soil report as prepared by geotechnical engineer.

ABBREVIATIONS

& < @ Ø #	And Angle At Diameter or Round Pound or Number	BITUM. BLDG. BLK. BLKG. BLM. B.O. B.P. BTWN.	Bituminous Building Block Blocking Beam Bottom Of Building Paper Between	CONN. CONST. CONT. CONTR. C.O.S. C.T. CTR. C.W.	Connection Construction Continuous Contractor Close Ceramic Tile Center Cold Water	E.I.F.S. E.J. E.J. E.L. ELEC. EMER. ENCL. E.P.B.	Exterior Insulation & Finish Exhaust Fan Expansion Joint Elevation Electrical Emergency Enclosure Electrical Panel Board	FIN. FIXT. FLR. FLASH. FLUOR. F.O.C. F.O.F. F.O. Ply F.O.S. F.P.R.F. FR. FT. FTG. FURR. FUT.	Finish Fixture Floor Flashing Fluorescent Face of Concrete Face of Finish Face of Plywood Face of Stud Fireproof Frame Foot or Feet Footing Furring Future	GND. GR. G.S.M. GYP.	Ground Grade Galvanized Sheet Metal Gypsum	INT. INTER.	Interior Intermediate	MECH. MEMB. MTL. MFR. MIN. MSC. MTD. MUL.	Mechanical Membrane Metal Manufacturer Minimum Miscellaneous Mounted Mullion	PL P.LAM. PLAS. PLYWD. PNL. PNT. P.S.I. PT. P.T. PTD. P.D. PTN. P.R.	Plate Plastic Laminate Plaster Plywood Panel Paint Per Square Inch Point Pressure Treated Painted Paper Towel Dispenser Partition Paper Towel Receptacle Quarry Tile	REINF. REQ. RESIL. RET. REV. RM. REMOV. R.O. RWD. RWL.	Reinforced Required Resilient Retaining Revision/Revised/Reversed Room Removable Rough Opening Redwood Rainwater Leader	SIM. SL. S.K.D. S.L.D. S.M.D. S.P.D. SP. E. SPEC. SQ. S.S. S.S.D. S.S.K. STD. STOR. STRL. S.V. S.W. SYM. SYS.	Similar Sliding See Kitchen Drawings See Landscape Drawings See Mechanical Drawings See Plumbing Drawings Space Evenly Specification or Special Square Stainless Steel See Structural Drawings Service Sink Standard Steel Storage Structural Sheet Vinyl Shear Wall Symmetrical System	T.B.D. T.C. TEL. TEMP. TAG TER THK. T.M.A. T.O. T.O.C. T.O.P. T.O. PLY T.O.W. TYP.	To Be Determined Top of Curb Telephone Tempered Tongue and Groove Terrazo Thick To Match Existing Top of Top of Concrete Top of Plate Top of Plywood Top of Wall Typical	VERT. VEST. V.G.D.F. VOL. W. W/ W.C. W.D. W.H. W/O W.P. W.P.M. W.S.C.T. W.S.P. WT. WR. WW.	Vertical Vestibule Vertical Grain Douglas Fir Verify in Field Volume West With Wall Covering or Water Closet Wood Water Heater Without Work Point or Waterproofing Waterproof Membrane Wainscot Wet Standpipe Weight Water Resistant Welded Wire
ACOUS. A.A. ADJ. ADJAC. A.F.F. AGGR. ALT. ALUM. APPROX. ARCH. ASPH. A.S.R.B. BD.	Acoustical Area Drain Adjustable Adjacent Above Finish Floor Aggregate Alternate Aluminum Approximate Architectural Asphalt Architectural Site Review Board Board	C.B. CEM. CER. C.J. CLG. CLKG. CLR. C.M.U. CNTR. C.O. COL. C.P. CONC. COND.	Catch Basin Cement Ceramic Control Joint Ceiling Caulking Clear Concrete Masonry Unit Counter Clean-Out Column Center of Post Concrete Condition	DBL. DET. CER. DIA. DIM. DISP. DN. DR. D.W. DWG. DWR. EA. (E)	Double Detail Drinking Fountain Diameter Dimension Dispenser Down Door Diswasher Drawing Drawer Each Existing	F.A. F.A.U. F.B. F.B.D. F.D. F.E.C. F.H.M.S. F.H.W.S.	Fire Alarm Forced Air Unit Flat Bar Full Board Dimension Floor Drain General Flat Head Machine Screw Flat Head Wood Screw	G. GA. GALV. G.D. GEN. G.F.I. GL	Gas Outlet Gauge Galvanized Garbage Disposal General Ground Fault Interrupt Glass	H.B. H.C. HD. HDBD. HDR. HDWD. HGR. HGT. H.M. HORIZ. HR. H.R. H.W.H. I.D. IN. INSUL.	Hose Bib Hollow Core or Handicapped Hardboard Header Hardwood Hanger Height Hollow Metal Horizontal Hour Handrail Hot Water Heater Inside Diameter Inch Insulation	JAN. JST. JT. KIT.	Janitor Joist Joint Kitchen	LAM. LAV. LB. LIN. LN. LT.	Laminate Lavatory Pound Linear Line Light	MACH. MAINT. MAT. MAX. M.B. M.C. M.D.O.	Machine Maintain Material Maximum Machine Bolt Medicine Cabinet Medium Density Overlay	PERIM. Perimeter	R. Riser Return Air RAD. REC. REF. REFR. RE.	SCHED. SECT. S.E.D. SEP. S.H. SHR. SHT.	See Civil Drawings Schedule Section See Electrical Drawings Separation Sprinkler Head Shower Sheet	T. T.B.	Tread Towel Bar		

PROJECT SYMBOLS

	INTERIOR ELEVATION NUMBERS SHEET NUMBER		CEILING HGT
	SECTION/ ELEVATION NUMBER SHEET NUMBER		PLUMBING FIXTURE TYPE
	DETAIL NUMBER SHEET NUMBER		WINDOW SYMBOL
	ENLARGED DETAIL NUMBER SHEET NUMBER		DOOR SYMBOL
	ROOM NAME ROOM NUMBER		GRID LINE
	FLOOR ELEVATION OR DIMENSION POINT		FLOOR FINISH SCHED.
			FLOOR DETAIL TYPE
			WALL DETAIL TYPE
			NOTE TAG
			REVISION

VICINITY MAP



PROJECT INFORMATION

<b>PROJECT ADDRESS</b> 2 TALLENT LANE YOUNTVILLE, CA 94599	<b>APPLICABLE CODES</b> 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA ENERGY CODE 2022 CGBC 2022 CALIFORNIA FIRE CODE
<b>ZONING DISTRICT</b> RS-SINGLE FAMILY RESIDENTIAL	
<b>OCCUPANCY</b> R3	
<b>CONSTRUCTION TYPE</b> VB	
<b>BUILDING HEIGHT</b> +17'	ALL APPLICABLE YOUNTVILLE MUNI CODE
<b>WUI ZONE</b> NO	<b>APN</b> 036-041-032-000
<b>FEMA FLOOD ZONE</b> NO	<b>STORIES</b> SINGLE STORY
<b>FIRE SPRINKLER</b> YES	

PROJECT DIRECTORY

<b>OWNER</b> AMY & MATT SAPP	<b>LAND SURVEY</b> CINQUINI & PASSARINO, INC.
<b>GENERAL CONTRACTOR</b> VINE HOMES CONSTRUCTION	
2080 HUMBOLDT STREET YOUNTVILLE CA 94599 T: (707) 531-8009 CONTACT: PETER HAMILTON CONTACT: ANTHONY ASSERETO	1804 SOSCOL AVE., SUITE 202 NAPA, CA 94559 T: (707) 690-9025 CONTACT: MARK ANDRILLA
<b>ARCHITECT</b> HUGHES ARCHITECTURE+DESIGN	<b>CIVIL ENGINEER</b> MADRONE ENGINEERING
1040 MAIN ST., STE 300 NAPA, CA 94559 T: (707) 812-5431 CONTACT: CASEY HUGHES	1485 MAIN STREET, SUITE 302 ST. HELENA, CA 94574 T: (707) 302-6280 CONTACT: JOEL DICKERSON
<b>GEOTECHNICAL ENGINEER</b> MILLER PACIFIC ENGINEERING GROUP	<b>LANDSCAPE ARCHITECT</b> CHRISTIAN BARRETT LANDSCAPE ARCHITECTURE
1360 REDWOOD WAY PETALUMA, CA 94954 T: (707) 765-6140 CONTACT: MONICA CATELLI	T: (707) 312-0021 CONTACT: CHRISTIAN HEDBERG

PROJECT SCOPE

The project proposes a new single family residence, swimming pool and a ADU.  
Modifications include the following:

- Removal of existing house and garage.
- Protecting neighbors oak tree.

INDEX

GENERAL	ARCHITECTURE
A0.00 COVER SHEET - INFO	A1.10 SITE PLAN
A0.01 3D IMAGE	A2.10 FLOOR PLAN
	A2.20 ROOF PLAN
SURVEY	
SVY1.00 EXISTING TOPO MAP	A3.00 SITE SECTIONS & MATERIAL
	A3.01 BUILDING ELEV. & SECT.
	A3.02 BUILDING ELEV. & SECT.
	A3.03 BUILDING ELEV. & SECT.
	A3.04 BUILDING ELEV. & SECT.
CIVIL	LANDSCAPE
C1.00 COVER SHEET	L1.00 MATERIAL & LAYOUT
C2.00 HARDSCAPE PLAN	L2.00 PLANTING PLAN
C2.01 GRADING PLAN	
C2.02 STORMWATER PLAN	
C3.00 UTILITY PLAN	

DEVELOPMENT SUMMARY

SITE SIZE	ACRES/ SQUARE FOOTAGE	0.26 / 11,405 SQ FT
FLOOR AREA	ALLOWED	PROPOSED
<b>MAIN HOUSE:</b> FAR 25% (LIVING AREA) FAR 30% (TOTAL W/ GARAGE)	2,851 SF 3,421 SF	2,849 SF 3,397 SF
<b>ARCHITECTURAL ELEMENTS:</b> ENTRY PORCH BEDROOM PORCH POOL PORCH COOKING PORCH COVERED UTILITY		290 SF 110 SF 365 SF 180 SF 50 SF
<b>TOTAL</b>	1,000 SF	995 SF
<b>OVERALL</b>		4,392 SF
FLOOR AREA	ALLOWED	PROPOSED
<b>ADU:</b> 2 BEDROOM	1,200 SF	875 SF
<b>ARCHITECTURAL ELEMENTS:</b> COVERED UTILITY		60 SF
<b>OVERALL</b>		935 SF
SETBACKS	ALLOWED	PROPOSED
FRONT	20'	20'
FRONT PORCH SETBACK	10'	11'
SIDE-NORTH	5'	5'
SIDE-SOUTH	5'	6.5'
REAR	20'	46.5'
ADU - SIDE & REAR	5'	5'
BUILDING HEIGHT	ALLOWED	PROPOSED
MAIN HOUSE	20'	17'
ADU	16'	15.5'

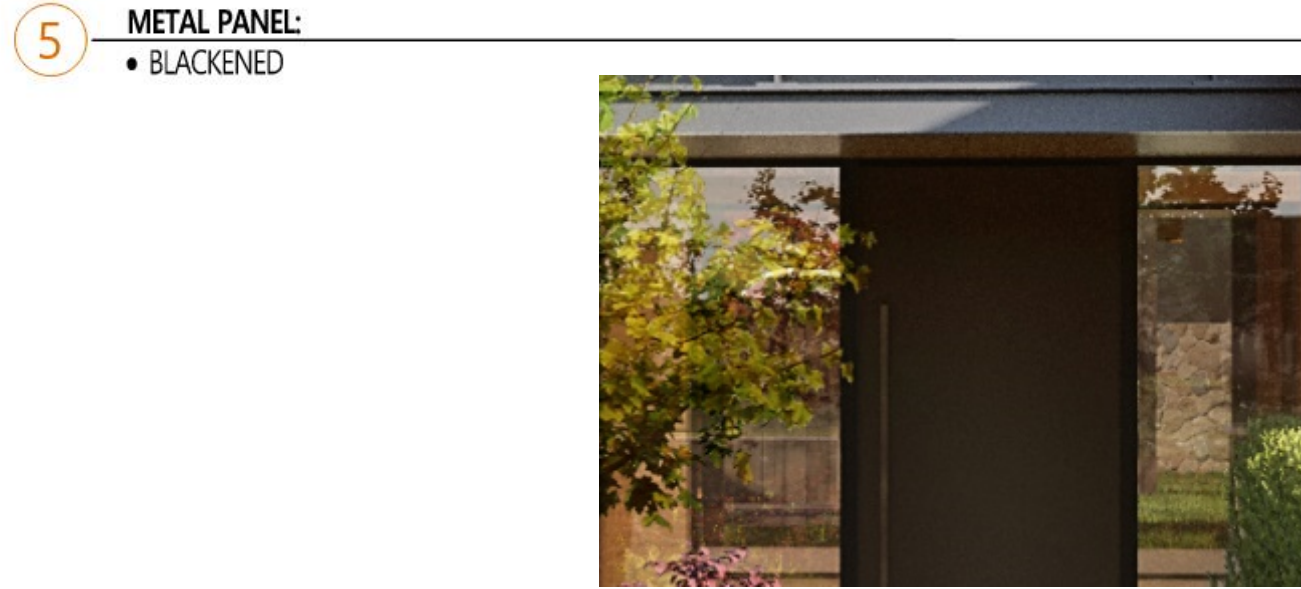
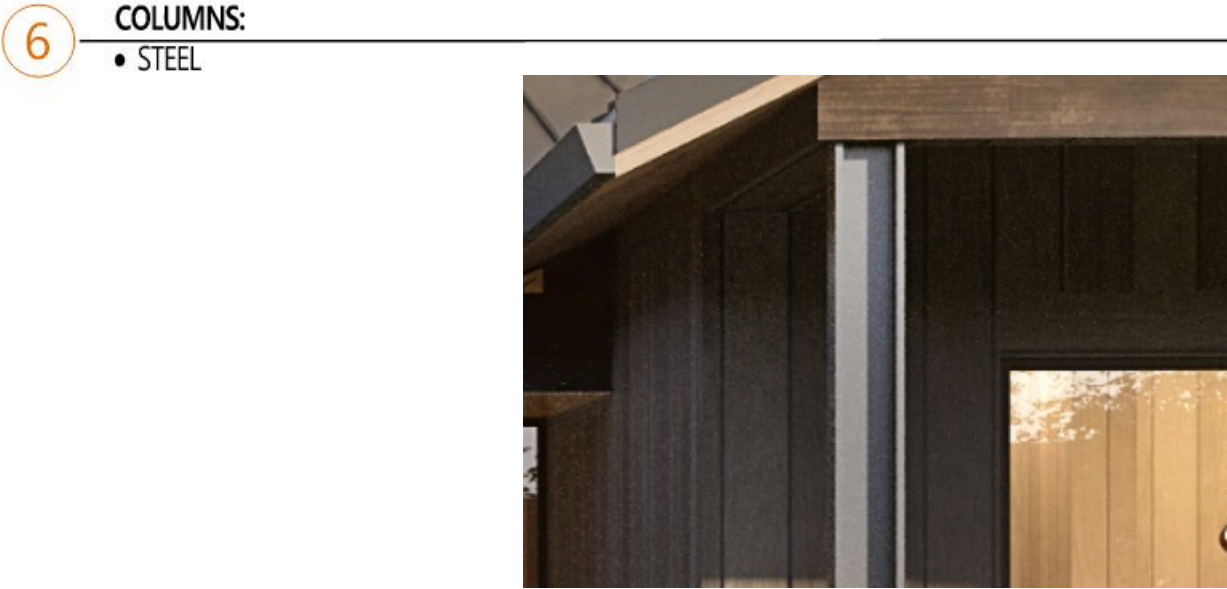
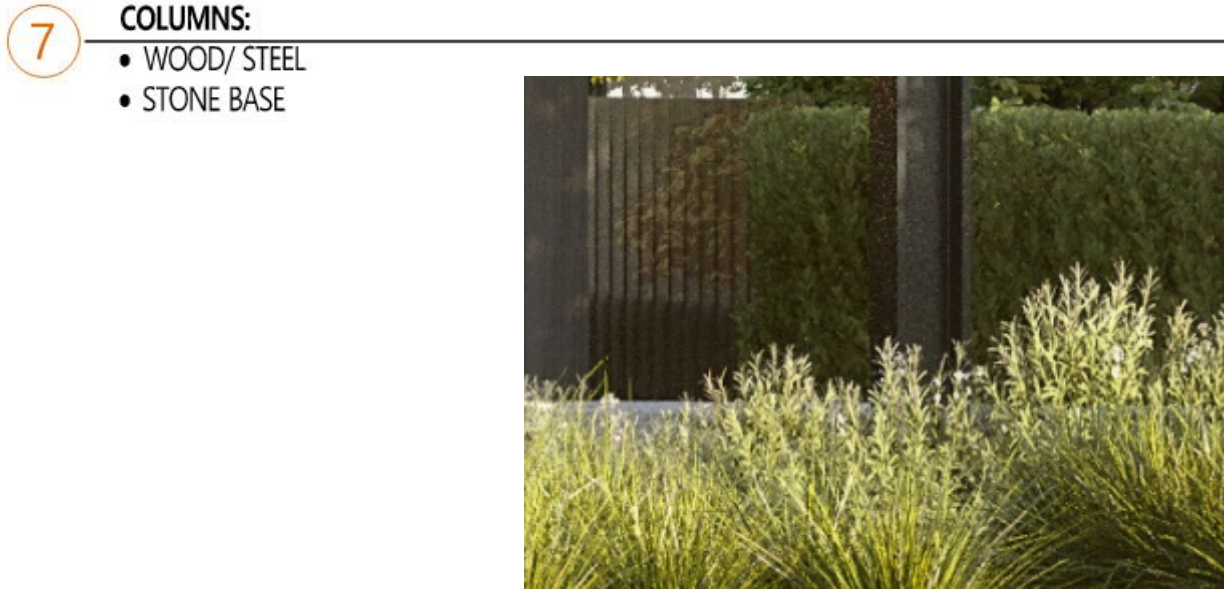
SEAL/SIGNATURE	
DRAWINGS ISSUED	
Issue	Date
ZDRB SUBMITTAL	11-15-24
ZDRB RESUBMITTAL	01-27-25

COVER SHEET  
INFO

A0.00



Plot Date January 24, 2025  
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STREET VIEW RENDER - 2 TALLENT LANE

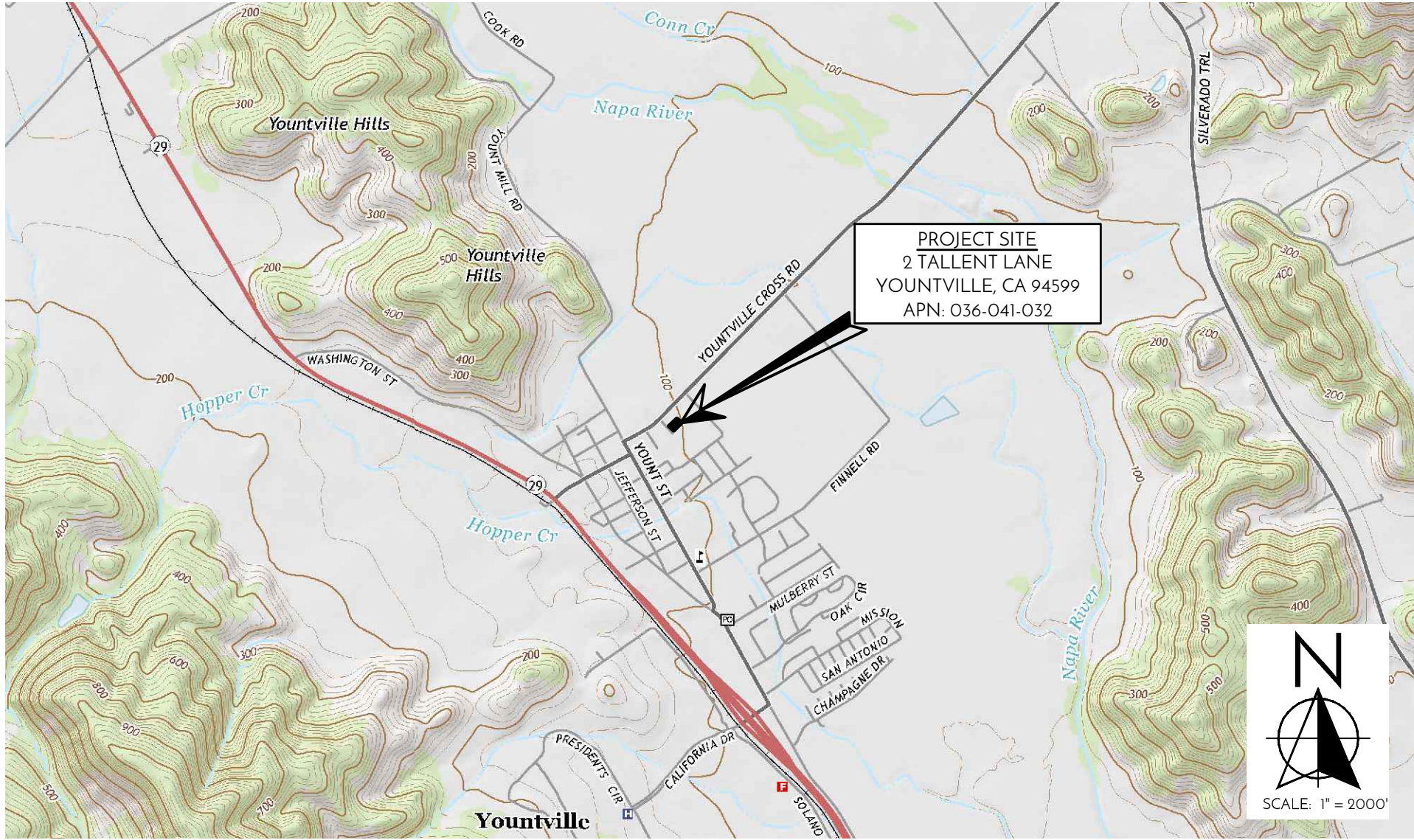
SEAL/SIGNATURE	
DRAWINGS ISSUED	
Issue	Date
ZDR8 SUBMITTAL	11-15-24
ZDR8 RESUBMITTAL	01-27-25








DESIGN REVIEW PLANS FOR:  
SAPP RESIDENCE  
2 TALLENT LANE  
YOUNTVILLE, CA, 94599



VICINITY MAP  
MAP FROM USGS 7.5 MIN SERIES MAP NAME: YOUNTVILLE AND RUTHERFORD

SHEET INDEX

- C1.0 COVER SHEET
- C2.0 HARDSCAPE PLAN
- C2.1 GRADING PLAN
- C2.2 STORMWATER PLAN
- C3.0 UTILITY PLAN

PROJECT INFORMATION

OWNER: SAPP 2001 REVOCABLE TRUST  
1735 FROBISHER WAY  
SAN JOSE, CALIFORNIA 95124

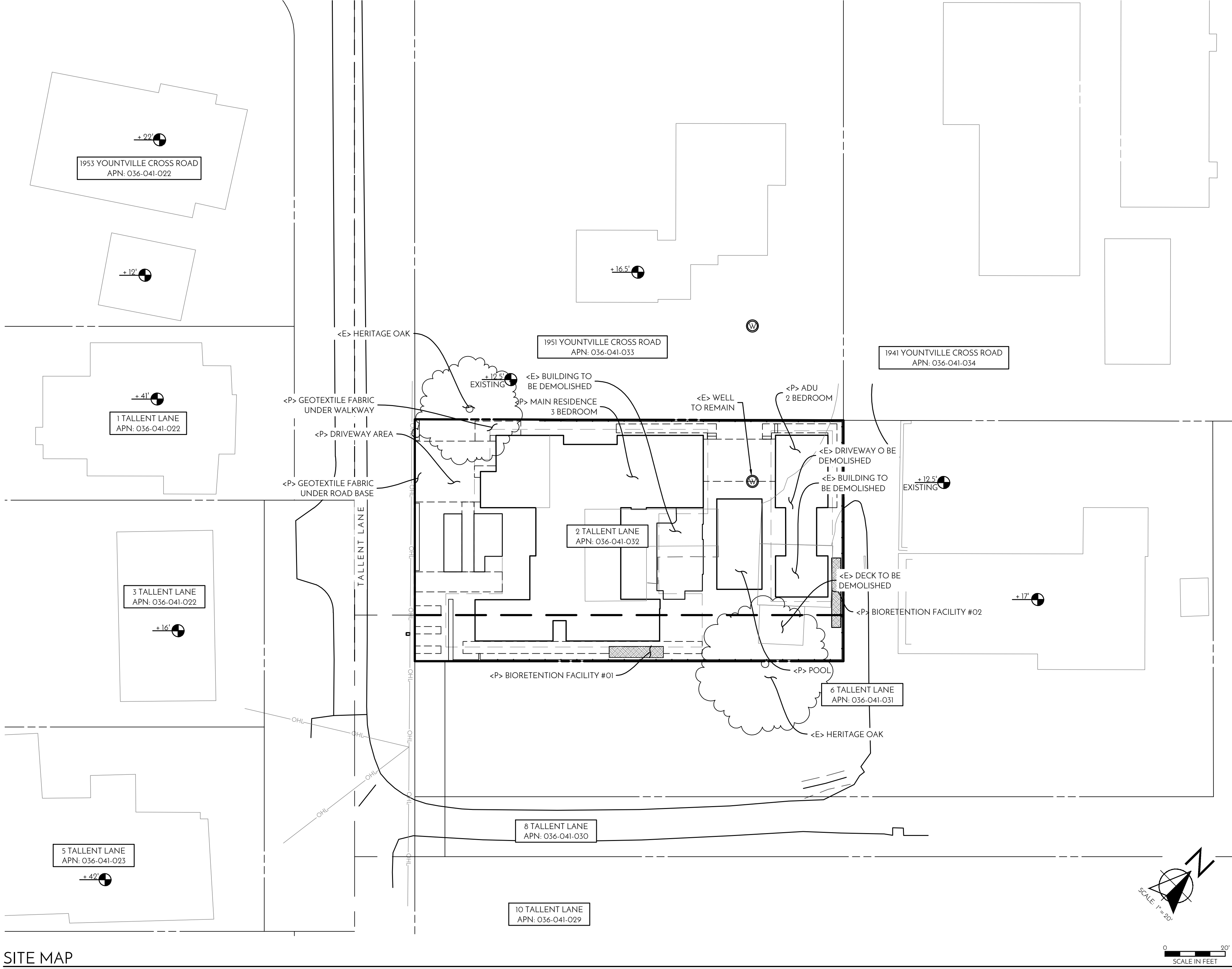
SITE ADDRESS: 2 TALLENT LANE  
YOUNTVILLE, CA 94599

ASSESSOR PARCEL #: 036-041-032  
PARCEL SIZE: ±0.26 ACRES  
TOWN ZONING: SINGLE FAMILY RESIDENTIAL

SURVEYOR: CINQUINI & PASSARINO, INC.  
1804 SOSCOL AVENUE #202  
NAPA, CA 94559  
MARK P. ANDRILLA  
707/690-9025

CIVIL ENGINEER: MADRONE ENGINEERING  
1485 MAIN STREET, SUITE 302  
ST. HELENA, CA 94574  
JOEL DICKERSON, P.E.  
707/302-6280

ARCHITECT: HUGHES ARCHITECTURE + DESIGN  
1040 MAIN STREET, SUITE 300  
NAPA, CA 94559  
CASEY HUGHES  
707/812-5431



SITE MAP

ABBREVIATIONS

AB	AGGREGATE BASE	FH	FIRE HYDRANT	R	RADIUS
AC	ASPHALT CONCRETE	FL	FLOOD INSURANCE RATE MAP	RT	RIGHT
AD	AREA DRAIN	FM	FORCE MAIN	ROW	RIGHT OF WAY
BC	BEGIN CURVE	RWL	RAIN WATER LEADER	RCP	REINFORCED CONCRETE PIPE
BFE	BASE FLOOD ELEVATION PER FIRM	GR	GRAVEL	S	SLOPE (FEET/FOOT)
BM	BENCHMARK	HP	HIGH POINT	SAD	SEE ARCHITECTURAL DRAWINGS
BCR	BEGIN CURB RETURN	IRV	INVERT	SD	STORM DRAIN
BVC	BEGIN VERTICAL CURVE	IP	IRON PIPE	SDP	SUBDRAIN PIPE
BS	BOTTOM OF STAIRS	IRR	IRRIGATION	SED	SEE ELECTRICAL DRAWINGS
BSW	BACK OF SIDEWALK	JP	JOINT POLE	SLE	SEE LANDSCAPE DRAWINGS
CB	CATCH BASIN	LF	LINEAL FEET/FOOT	SLV	SLEEVE
CGG	CURB AND GUTTER	LP	LOW POINT	SMD	SEE MECHANICAL DRAWINGS
CHU	CONCRETE MASONRY UNIT	MH	MANHOLE	SPD	SEE PLUMBING DRAWINGS
CP	CONCRETE PIPE	MON	MONUMENT	SS	SANITARY SEWER
CL	CLEARLINE	(N)	NORTH	SSCO	SANITARY SEWER CLEAN OUT
CO	CLEANOUT	-N-	NEW	SMH	SANITARY SEWER MANHOLE
COMM	COMMUNICATION	OC	ON CENTER	STA	STATION
CV	CHECK VALVE	OG	ORIGINAL GROUND	STD	STANDARD
CW	COLD WATER	OH	OVERHEAD	SW	SIDEWALK
DCV	DOUBLE CHECK VALVE	OHL	OVERHEAD LINE	TC	TOP OF CURB
DG	DECOMPOSED GRANITE	-P-	PROPOSED	TFC	TOP FACE OF CURB
DIP	DUCTILE IRON PIPE	PCC	PORTLAND CEMENT CONCRETE	TOC	TOP OF CONCRETE
DS	DOWNSPOUT	PD	PRESSURE DISTRIBUTION	TS	TOP OF STAIRS
DWG	DRAWING	PG&E	PACIFIC GAS AND ELECTRIC	TW	TOP OF WALL
EC	END OF CURVE	PI	POINT OF INTERSECTION	TYP	TYPICAL
ED	EAST	PV	POST INDICATOR VALVE	UG	UNDERGROUND
-E-	EXISTING	PVL	PROPERTY LINE	VC	VERTICAL CURVE
ECR	END CURB RETURN	PRC	POINT OF REVERSE CURVE	VG	VALLEY GUTTER
EG	EXISTING GROUND	PSI	POUNDS PER SQUARE INCH	(W)	WEST
EGR	EDGE OF GRAVEL	PUE	PUBLIC UTILITY EASEMENT	WM	WATER METER
EP	EDGE OF PAVEMENT	PVC	POLYVINYL CHLORIDE	W/S	WATER SERVICE
EVC	END VERTICAL CURVE	PVI	POINT OF VERTICAL INTERSECTION	WV	WATER VALVE
FDC	FIRE DEPT. CONNECTION	PW	PROCESS WASTE		
FG	FINISHED GRADE				

SYMBOL LEGEND

	UTILITY POLE		SANITARY SEWER
	SIGN		STORM DRAIN
	WELL		WATER VALVE
	STREET LIGHT		WATER METER & DCV
	TREE		FDC/PIV WITH CHECK VALVE
	TREE TO BE REMOVED		FIRE HYDRANT WITH GATE VALVE
	SANITARY SEWER		CLEANOUT
	GAS LINE		PROPOSED CONTOUR
	WATER LINE		SOLID STORM DRAIN
	EXISTING CONTOUR		PERFORATED STORM DRAIN
	TOP/TOE BANK GRADE BREAK		GRADE SWALE
	PROPERTY LINE		OVERLAND RELEASE ROUTE
	CENTERLINE		

ESTIMATED EARTHWORK QUANTITIES

- THE EARTHWORK QUANTITIES LISTED BELOW ARE ESTIMATES ONLY AND MAY VARY DUE TO SOIL TYPE, COMPACTION AND BUILDING FACTORS, GRADING PRACTICES, AND COMPACTION VALUES.
- THE UNADJUSTED QUANTITIES HAVE BEEN DERIVED USING A VOLUMETRIC ANALYSIS BETWEEN THE EXISTING AND PROPOSED FINISHED GRADE ELEVATIONS.
- THE FOLLOWING ASSUMPTIONS HAVE BEEN MADE WHEN DEVELOPING ADJUSTED QUANTITY ESTIMATES:
  - QUANTITIES FROM UTILITY TRENCHES, FOUNDATION TRENCHES, AND STORMWATER DETENTION BASINS HAVE NOT BEEN ESTIMATED.
  - QUANTITIES RELATED TO OVEREXCAVATION AND RECOMPACTION HAVE NOT BEEN ESTIMATED.
- CONTRACTOR SHALL WORK WITH THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE IF COMPACTION AND BULKING FACTORS ARE APPLICABLE FOR THE PROPOSED GRADING ACTIVITIES. THESE FACTORS HAVE THE POTENTIAL TO SIGNIFICANTLY ALTER THE CUT & FILL QUANTITIES IDENTIFIED IN THIS ANALYSIS.
- SEE THE TABLE BELOW FOR THE ESTIMATED EARTHWORK QUANTITIES FOR THE PROJECT.

ESTIMATED PROJECT EARTHWORK		
	UNADJUSTED QUANTITIES (CY)	ADJUSTED QUANTITIES (CY)
CUT	65	125
FILL	450	370
ESTIMATED NET EARTHWORK	245 (IMPORT)	

THE APPROXIMATE AREA OF DISTURBED SOIL IS 11,405 SF (0.26 AC).

PROJECT STATEMENT

THE PRELIMINARY DESIGN IS TO BUILD A NEW MAIN RESIDENCE, ACCESSORY DWELLING UNIT (ADU), POOL, DRIVEWAY, AND RELATED UTILITY IMPROVEMENTS AT 2 TALLENT LANE.

SURVEY NOTES

- THE BOUNDARY ON THESE DRAWINGS DOES NOT REPRESENT A PROPERTY LINE SURVEY. PROPERTY LINES SHOWN HEREON ARE BASED ON RECORD DATA, AND MAY NOT REPRESENT THE TRUE POSITIONS OF THE LINES.
- THE TOPOGRAPHY IS BASED ON A FIELD SURVEY OF THE PARCEL IN APRIL, 2019 AND OCTOBER, 2024 PERFORMED BY CINQUINI & PASSARINO, INC.
- THE HORIZONTAL DATUM IS BASED UPON MONUMENTATION AND DELINEATED AS: "BEING SOUTH 28°51'07" EAST BETWEEN CONTROL POINTS 2 AND 6 AS SHOWN ON THE RECORD OF SURVEY OF THE TOWN OF YOUNTVILLE SURVEY CONTROL NETWORK RECORDED JULY 21, 2014 IN BOOK 45 OF SURVEYS AT PAGES 65-67 INCLUSIVE, NAPA COUNTY RECORDS.
- SITE BENCHMARK DESCRIPTION: "CINQUINI & PASSARINO CONTROL POINT NO. 1, BEING A SET CUT 'X' IN A DRAIN INLET CONCRETE FRAME AS SHOWN HEREON. ELEVATION = 97.81' (NAVD83)".
- MADRONE ENGINEERING ASSUMES NO LIABILITY, REAL OR ALLEGED, REGARDING THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROTECT EXISTING SURVEY MONUMENTS OR REPLACE THEM AT HIS OWN EXPENSE.

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madrone  
engineering  
1485 Main Street, Suite 302  
St. Helena, California 94574  
Tel: 707.302.6280

DESIGN REVIEW PLANS  
COVER SHEET

SAPP RESIDENCE  
2 TALLENT LANE  
YOUNTVILLE, CA 94599  
APN: 036-041-032  
PROJECT 24-029



EVERY PERSON PLANNING TO DIG CALL USA AT 811 PRIOR TO EXCAVATION

FOR MORE INFORMATION SEE WWW.USACALL.ORG

DATE: 11/15/24  
10/24/25  
ISSUE: DESIGN REVIEW  
REVISION 1













SHEET: C1.0





1. FACILITIES LOCATED WITHIN 10 FEET OF STRUCTURES SHALL INCORPORATE AN IMPERVIOUS CUTOFF WALL.  
2. FACILITIES LOCATED IN AREAS OF HIGH GROUNDWATER, HIGHLY INFILTRATIVE SOILS, OR WHERE CONNECTION OF THE UNDERDRAIN TO A SURFACE DRAIN OR SUBSURFACE STORM DRAIN ARE INFEASIBLE MAY NOT USE THE UNDERDRAIN.  
3. NO LINER, NO FILTER FABRIC, NO LANDSCAPE CLOTH.  
4. MAINTAIN BGL, TGL, TSL AT LEVEL ELEVATIONS AS SPECIFIED ON THE PLANS.  
5. CLASS 2 PERMEABLE LAYER MAY EXTEND BELOW AND UNDERNEATH DROP INLET.  
6. REQUIRED BGL, TGL, TSL 62% RHYTHIC SAND, 30%-40% COARSEST VOLUME BASIS). SOIL SHALL BE CAPABLE OF ACHIEVING A LONG TERM, IN-PLACE INFILTRATION RATE OF AT LEAST 5 INCHES PER HOUR. SOIL SHALL ALSO ALLOW SUFFICIENT VIGOROUS PLANT GROWTH.

NOT TO SCALE

	TYPE OF IMPERVIOUS SURFACE	AREA DESCRIPTIONS	AREA (SF)	TYPICAL SECTION	PERVIOUS/ IMPERVIOUS
	BUILDINGS, GARAGES, CARPORTS, OTHER STRUCTURES WITH ROOFS	BUILDINGS	6162	N/A	IMPERVIOUS
		WALLS	35	N/A	IMPERVIOUS
	PATIO, IMPERVIOUS DECKING, PAVERS AND IMPERVIOUS LINERS	CONCRETE	655	N/A	IMPERVIOUS
	POOL	SELF-RETAINING	450	N/A	N/A
	ROADWAYS AND DRIVEWAYS	ASPHALT CONCRETE	0	2.5" AC OVER 6.0" CL 2 AB	IMPERVIOUS
		CONCRETE	0	5" CONC OVER 4" CL 2 AB	IMPERVIOUS
		GRAVELPAVE W/ GEOTEXTILE	475	3/4" CRUSHED GRANITE	PERVIOUS
	OTHER PERVIOUS SURFACE	GRAVELPAVE W/ GEOTEXTILE	1006	3/4" CRUSHED GRANITE	PERVIOUS
		PLANTING/NATIVE	0	N/A	PERVIOUS
		LAWN	0	N/A	PERVIOUS
		BIO RETENTION	135	N/A	PERVIOUS
		TOTAL	8,469		

TOTAL NEW/RECONSTRUCTED IMPERVIOUS AREA :	7,200 SF (0.165 AC)
TOTAL DISTURBED SOIL AREA:	11,405 SF (0.26 AC)

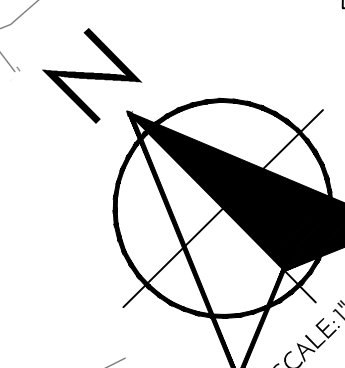
1941 YOUNTVILLE CROSS ROAD  
APN: 036-041-034

1951 YOUNTVILLE CROSS ROAD  
APN: 036-041-033

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TALLEN T LANE

8 TALLENT LANE  
APN: 036-041-030



SCALE: 1"



0  
SCALE IN FEET

[illegible]

DESIGN REVIEW PLANS

HARDSCAPE PLAN

**SAPP RESIDENCE**  
2 TALLENT LANE  
YOUNTVILLE, CA 94599  
APN: 036-041-032  
PROJECT: 24.029



EVERY PERSON PLANNING TO DIG  
CALL US AT 800 PRIOR TO EXCAVATION



DATE:	ISSUE:
11/15/24	DESIGN REVIEW
01/24/25	REVISION 1

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1941 YOUNTVILLE CROSS ROAD  
APN: 036-041-034

1951 YOUNTVILLE CROSS ROAD  
APN: 036-041-033

2 TALLENT LANE  
APN: 036-041-032

6 TALLENT LANE  
APN: 036-041-031

8 TALLENT LANE  
APN: 036-041-030

10 TALLENT LANE  
APN: 036-041-029

### TREE PRESERVATION NOTES

1. PRIOR TO ANY ACTIVITIES RELATING TO DEMOLITION, AN ON-SITE MEETING SHALL BE HELD FOR CONTRACTORS WITH WORK THAT MAY INFLUENCE THE EXISTING TREES TO BE PROTECTED.
2. PRIOR TO ANY ACTIVITIES, ESTABLISH A TREE PROTECTION ZONE (TPZ) BY ERECTING 6-FOOT CHAIN LINK PANELS (OR A 4-FOOT ENVIRONMENTALLY SENSITIVE AREA (ESA) FENCE) AROUND THE DRIPLINES OF THE EXISTING TREES TO BE PROTECTED. THE FENCING CAN BE RELOCATED UNDER THE DIRECTION OF THE CONSULTING ARBORIST AND FOLLOWING A CONFIRMED 24-HOUR REQUEST. FENCING SHALL REMAIN INTACT UNTIL THE PROJECT IS COMPLETE AND FINAL LANDSCAPING IS INSTALLED.
3. ANY LAWN OR LANDSCAPING WITHIN THE TPZ SHALL BE IRRIGATED AT THE INTERVALS SIMILAR TO WHICH OCCURRED PRIOR TO DEMOLITION OR CONSTRUCTION. ANY BARE SOILS WITHIN THE TREE PROTECTION ZONE SHALL BE COVERED WITH 8 INCHES OF CHIP MULCH.
4. PRIOR TO PERFORMING WORK WITHIN THE TPZ, 48-HOUR NOTICE MUST BE PROVIDED TO AND CONFIRMED BY THE CONSULTING ARBORIST.
5. ROOTS ENCOUNTERED OUTSIDE THE TPZ SHALL BE PRUNED PROMPTLY AND NEATLY. THE FINAL CUT SHALL BE FREE OF SHATTERED MATERIAL.
6. IF UTILITIES OR OTHER TRENCHING MUST PASS THROUGH THE TPZ, ROOTS WITHIN THE TPZ WHICH ARE GREATER THAN 2 INCHES IN DIAMETER SHALL BE TUNNELED UNDER LEAVING THE BARK INTACT.
7. ANY PRUNING OF THE BRANCHES SHALL BE DONE UNDER THE GUIDANCE OF THE CONSULTING ARBORIST.
8. GEOGRID SHALL BE USED WITHIN THE TPZ AT THE DRIVEWAY AND PATHS.

## DESIGN REVIEW PLANS GRADING PLAN

SAPP RESIDENCE  
2 TALLENT LANE  
YOUNTVILLE, CA 94599  
APN: 036-041-032  
PROJECT: 24-029



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CALL USA AT 800-662-0044 TO LOCATE UTILITIES



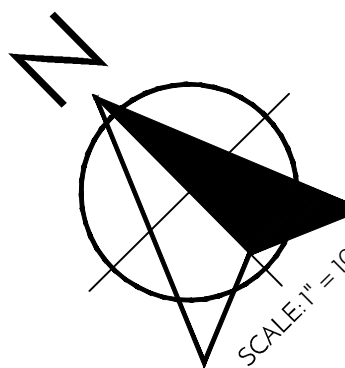
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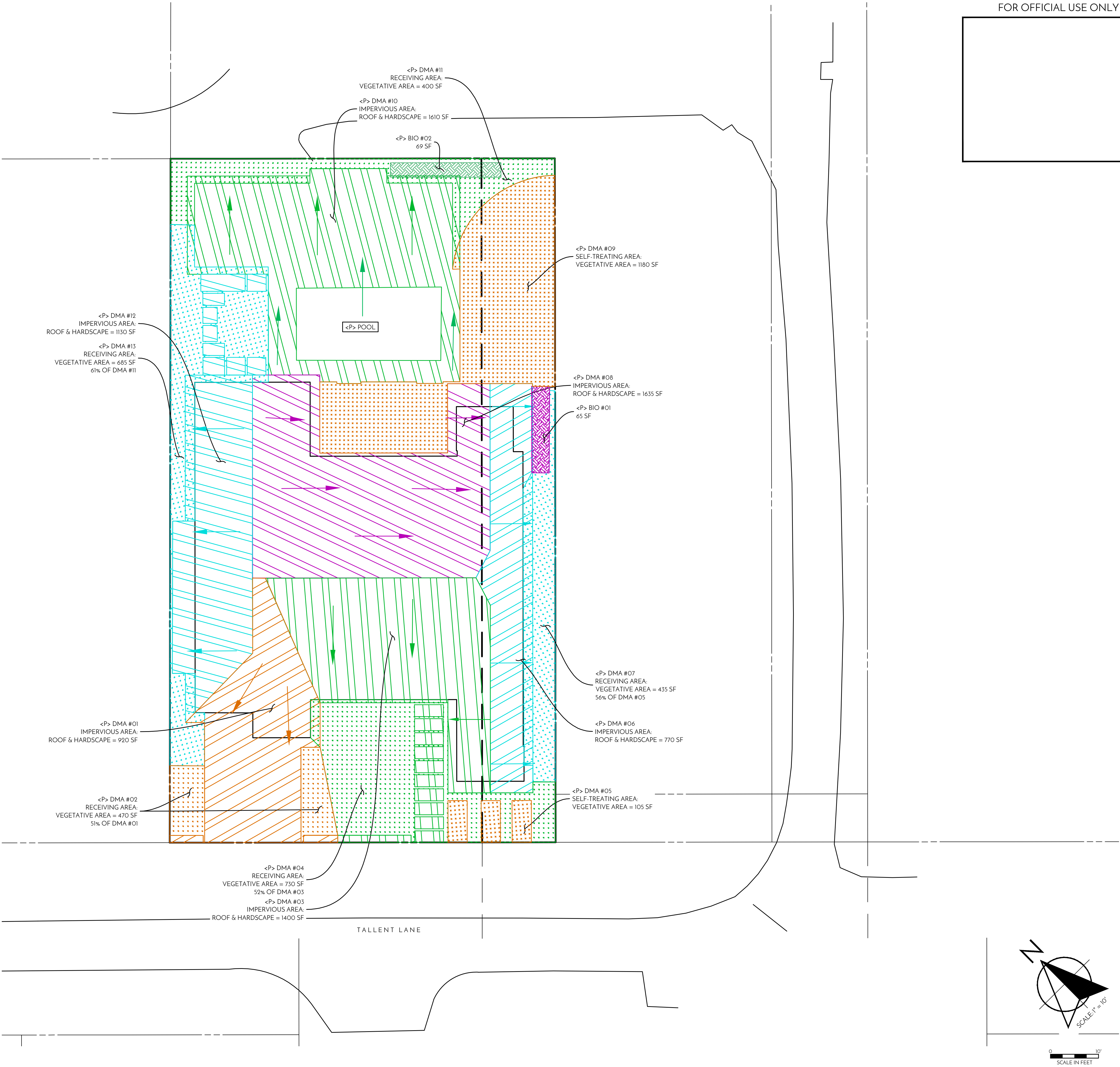
madrone  
engineering  
1483 Main Street, Suite 102  
San Francisco, CA 94103  
Tel: 415.703.3026/2680



SCALE 1" = 10'



DMA SUMMARY TABLE							
DMA NAME	DMA AREA (SF)	SURFACE TYPE	RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	BIORETENTION FACILITY #01		
					SIZING FACTOR	MIN. FACILITY SIZE	PROP. FACILITY SIZE
DMA #08	1635	Roof/Concrete	1.0	1635			
TOTAL				1635	0.04	65	65
DMA NAME	DMA AREA (SF)	SURFACE TYPE	RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	BIORETENTION FACILITY #02		
					SIZING FACTOR	MIN. FACILITY SIZE	PROP. FACILITY SIZE
DMA #10	1610	Roof/Concrete	1.0	1610			
DMA #11	400	LSCP	0.1	40			
TOTAL				1650	0.04	66	69



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DESIGN REVIEW PLANS  
STORMWATER PLAN

SAPP RESIDENCE  
2 TALLENT LANE  
YOUNTVILLE, CA 94599  
APN: 036-041-032  
PROJECT: 24-029

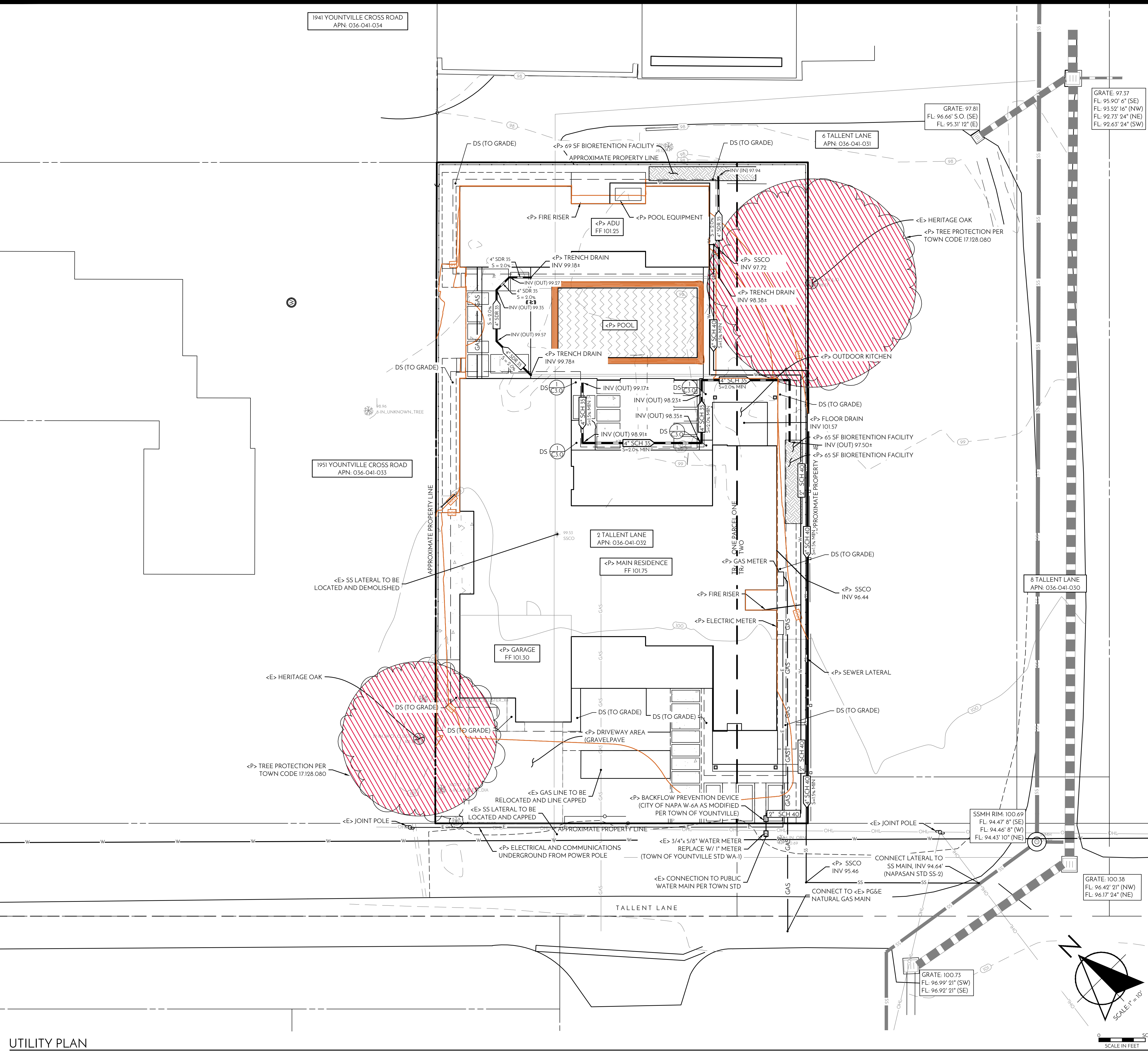


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CUTTING PLANS  
FOR MORE INFORMATION  
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UTILITY PLAN

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GENERAL UTILITY NOTES

1. ALL WORKMANSHIP AND MATERIALS FOR BOTH ON-SITE AND OFF-SITE IMPROVEMENTS SHALL CONFORM TO THE TOWN OF YOUNTVILLE MUNICIPAL CODE, RESOLUTION 19.3958 (WHICH ADOPTED BOTH THE CITY OF NAPA STANDARD PLANS 5, SPECIFICATIONS AND NAPA SANITATION STANDARDS 5, SPECIFICATIONS WITH TOWN CHANGES AS AMENDED), THE CURRENT EDITION OF CALTRANS STANDARDS AND SPECIFICATIONS AND STANDARD PLANS, AND THE 2022 CBC, CFC, CGBS, CMC, CPC, CRC, AND ALL FEDERAL, STATE, AND COUNTY CODES GOVERNING SUCH IMPROVEMENTS.
2. ALL UTILITIES INCLUDING ELECTRICAL AND COMMUNICATION SERVING THE PROPERTY SHALL BE PLACED UNDERGROUND.

EXISTING UTILITY NOTES

1. ALIGNMENT AND LOCATION OF EXISTING UTILITY LINES HAVE BEEN APPROXIMATED BASED ON THE SURVEY.
2. UTILITY CONTRACTOR WILL VERIFY THE EXACT LOCATION OF EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION OF NEW UTILITY INFRASTRUCTURE. UTILITY CONTRACTOR WILL REPLACE DAMAGED UTILITIES IN KIND AND TYPE.

JOINT TRENCH NOTES

1. JOINT TRENCHES SHOWN ON THESE PLANS ARE TO PROVIDE GUIDANCE REGARDING MAINLINE UTILITY RUNS THROUGH THE SITE.
2. MINOR UTILITY RUNS SHALL BE COORDINATED WITH THE SITE CONTRACTOR DURING CONSTRUCTION AND BASED ON DESIGN/BUILD INFORMATION PROVIDED BY MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS IF ANY.

STORM DRAIN SYSTEM NOTES

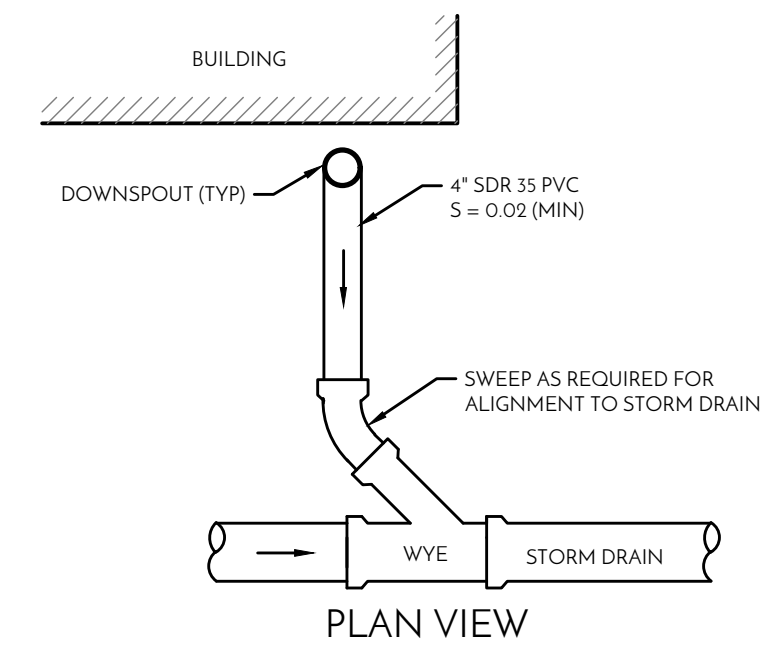
1. PROPOSED STORM DRAIN PIPING SHALL OUTLET ON THE PARCEL AS SHOWN ON THESE PLANS.
2. UNLESS A DIRECT CONNECTION TO SOLID STORM DRAIN PIPING IS SHOWN ON THESE PLANS, DOWNSPOUTS SHALL OUTLET TO THE SURFACE A MINIMUM DISTANCE OF 5 FEET AWAY FROM BUILDING FOUNDATIONS OR STRUCTURES.
3. STORMWATER SHALL BE DIRECTED TO LANDSCAPING OR BIORETENTION FACILITIES AS SHOWN ON THESE PLANS AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE BASMAA POST-CONSTRUCTION MANUAL.

SEWER NOTES

1. ALL SANITARY SEWER IMPROVEMENTS SHALL BE CONSTRUCTED PER THE CURRENT VERSION OF NAPA SANITATION DISTRICT (NSD) SANITARY SEWER AND RECYCLED WATER STANDARDS.
2. CALL THE TOWN OF YOUNTVILLE PUBLIC WORKS DEPARTMENT FOR INSPECTION 24 HOURS IN ADVANCE OF SANITARY SEWER WORK.
3. CLEANOUTS IN TRAFFIC AREAS AND WALKWAYS SHALL HAVE A G-5 TRAFFIC RATED BOX AND LID.
4. TRENCH BACKFILL SHALL BE PER NAPASAN STANDARDS DETAIL SS-24.

POOL NOTES

1. PER TOWN REQUIREMENTS, POOL CANNOT BE PLUMBED TO SANITARY SEWER.



- NOTES
1. SEE UTILITY PLAN FOR STORM DRAIN PIPE TYPE AND SIZE.
  2. SIZE PIPE ADAPTERS AND CONNECTIONS AS REQUIRED IN FIELD.
  3. PROVIDE CLEANOUT IN STORM DRAIN AT LAST DOWNSPOUT.
  4. DOWNSPOUT LOCATIONS PER PLAN.

1 DOWNSPOUT CONNECTION TO STORM DRAIN SYSTEM NOT TO SCALE

UTILITY SYMBOL LEGEND

- |      |   |
|------|---|
| LPB  | LIGHT DUTY PULL BOX*<br>CHRISTY CONCRETE OR CARSON HDPE<br>(OR APPROVED EQUAL)          |
| MPB  | MEDIUM DUTY PULL BOX*<br>FIBRELYTE (OR APPROVED EQUAL)                                  |
| HPB  | HEAVY DUTY PULL BOX - TRAFFIC RATED*<br>CHRISTY CONCRETE + STEEL<br>(OR APPROVED EQUAL) |
| SSCO | SANITARY SEWER CLEANOUT   |
| CV   | CHECK VALVE   |

\* PULL BOXES SHALL BE SIZED APPROPRIATELY FOR ALL CONDUIT, PIPE, VALVES, OR OTHER EQUIPMENT THAT PASSES INTO/THROUGH THE BOX.

DESIGN REVIEW PLANS  
UTILITY PLAN

SAPP RESIDENCE  
2 TALLENT LANE  
YOUNTVILLE, CA 94599  
APN: 036-041-032  
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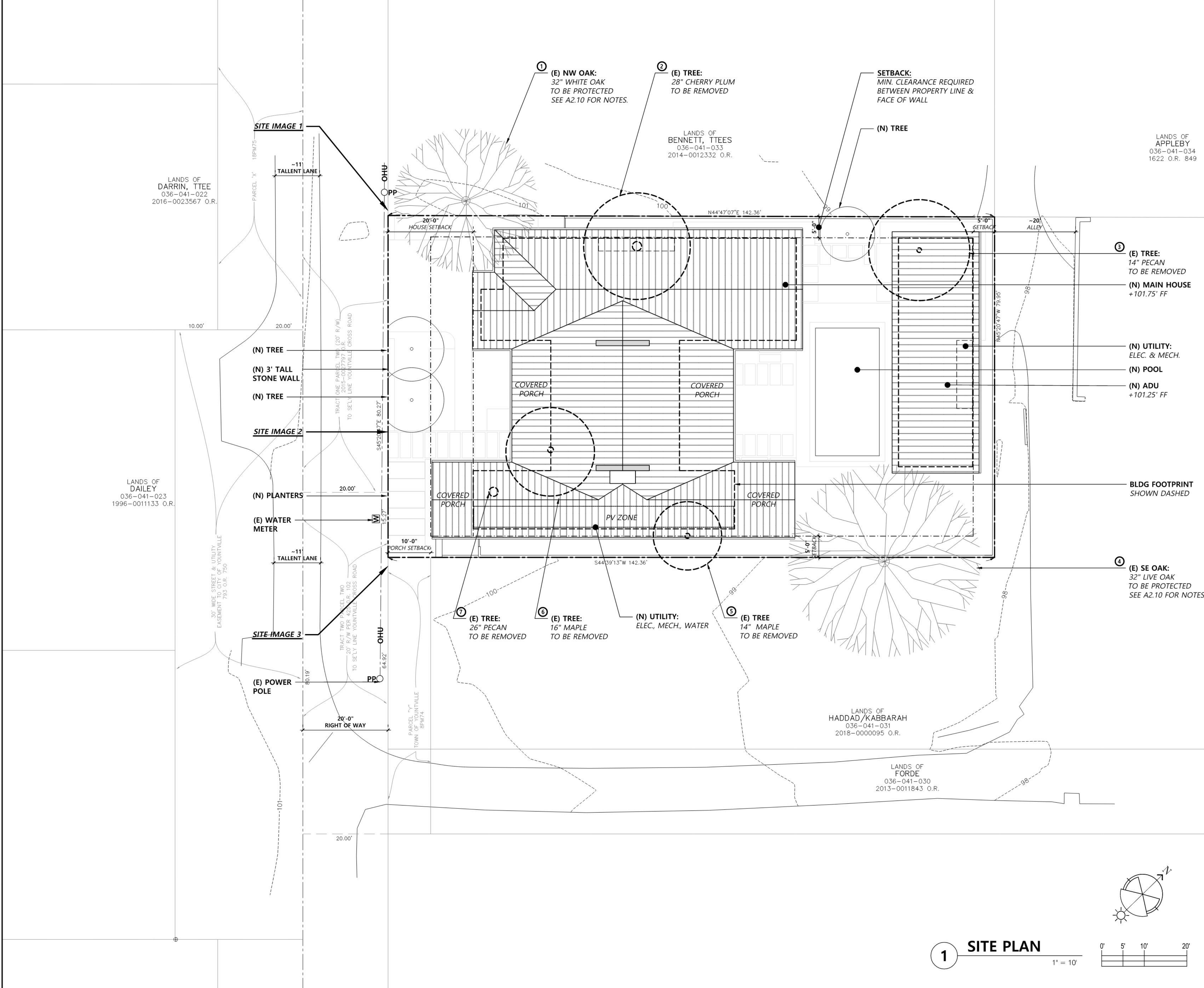
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**madrone**  
engineering  
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Tel: 707.302.6880



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SITE IMAGES



3 TALLENT LN.  
SOUTH WEST CORNER



2 TALLENT LN.  
WEST



1 TALLENT LN.  
NORTH WEST CORNER

HUGHES  
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YOUNTVILLE, CA

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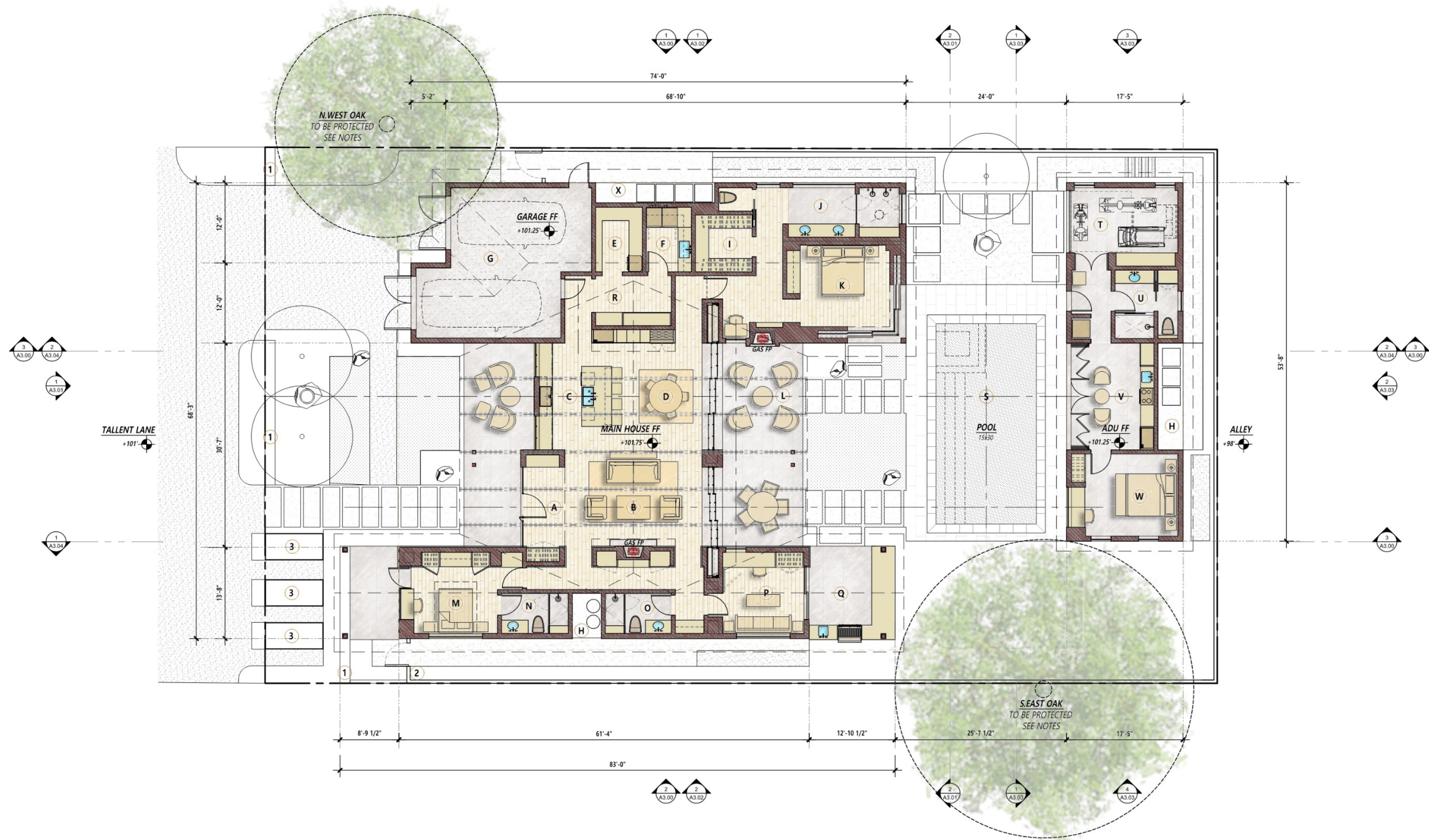
PROPOSED  
SITE PLAN

A1.10

Project No. 2407



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1 MAIN LEVEL FLOOR PLAN  
1/8" = 1'-0"

## BUILDING LEGEND

- A ENTRY
- B LIVING
- C KITCHEN
- D DINING
- E PANTRY
- F LAUNDRY
- G GARAGE
- H UTILITY
- I PRIMARY CLOSET
- J PRIMARY BATHRM
- K PRIMARY BEDRM
- L BACK PORCH
- M GUEST BEDRM
- N GUEST BATH
- O BATHROOM
- P OFFICE
- Q OUTDOOR KITCHEN
- R MUDROOM
- S POOL
- T GYM / ADU BR 2
- U GYM BATH
- V ADU KITCHEN
- W ADU BEDROOM 1
- X REFUSE AREA

- 1 3' STONE WALL
- 2 6' WOOD FENCE
- 3 PLANTER

## GENERAL NOTES

**FIREPLACE:**  
All fireplaces in project will be a gas appliance.

**NORTH-WEST OAK PROTECTION:**  
To ensure the protection of the oak tree, arborist Heiko Gerdes proposes the following measures. Please refer to the arborist's report for complete details:

- Geogrid Installation: Use of a geogrid at the driveway and paths within the oak tree's dripline. This grid will provide support while preventing compaction of the gravel driveway surface.
- Foundation Bridge: Incorporation of a foundation bridge at the garage to span the tree's root system, minimizing damage to the existing roots.
- Subsurface Exploration: Conduct subsurface exploration using hand tools prior to any work within the oak tree's dripline to avoid harm to the root structure.

**SOUTH-EAST OAK PROTECTION:**  
To ensure the protection of the oak tree, arborist Heiko Gerdes proposes the following measures. Please refer to the arborist's report for complete details:

- All construction and site activities will remain outside the tree's dripline.
- In areas where construction approaches the dripline (e.g., the A.D.U., outdoor cooking area, and pool deck), a arborist should conduct a sub-grade inspection to evaluate the tree's rootzone.
- An arborist should be consulted prior to any excavation to ensure tree health and adherence to best practices.

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## SAPP RESIDENCE

2 TALENT LANE  
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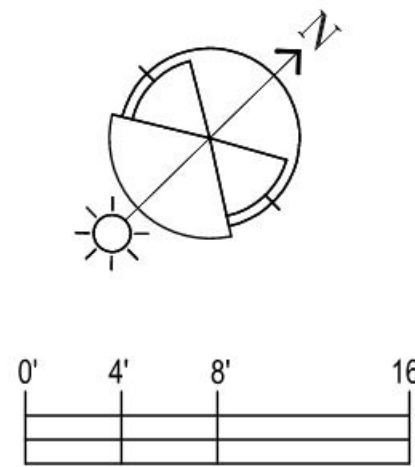
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MAIN LEVEL  
FLOOR PLAN

A2.10

Project No. 2407





- A STANDING SEAM MTL ROOF
- B SKYLIGHT
- C CHIMNEY
- D SWIMMING POOL
- E PV ZONE

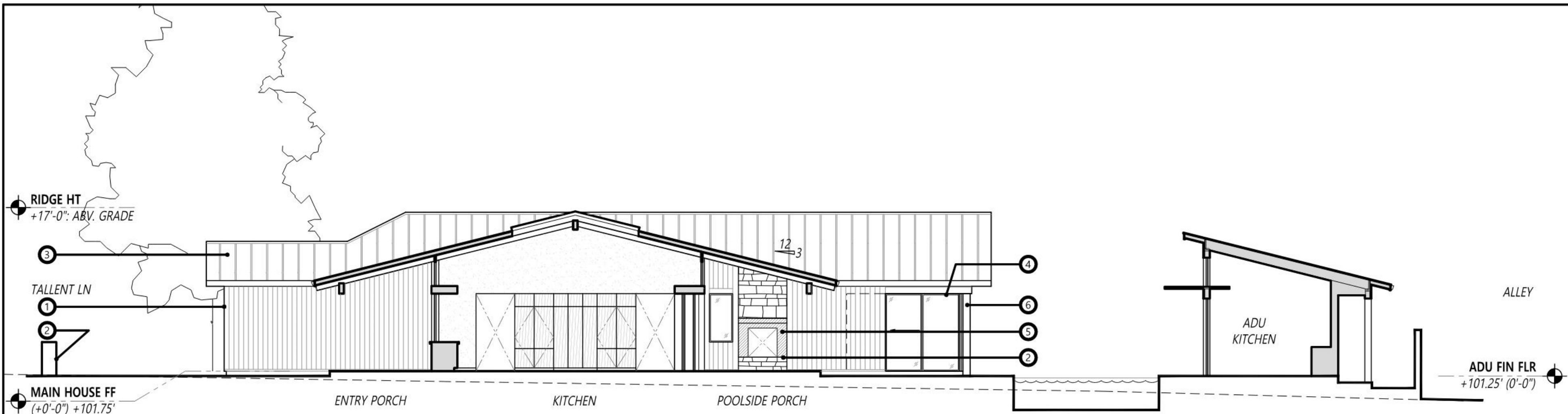
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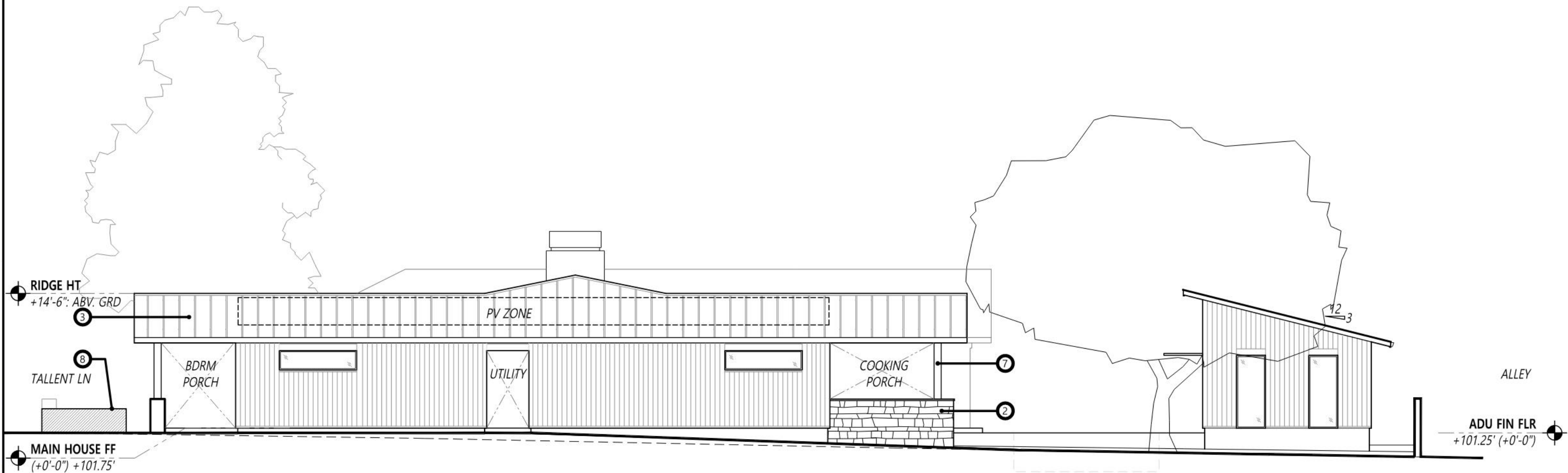
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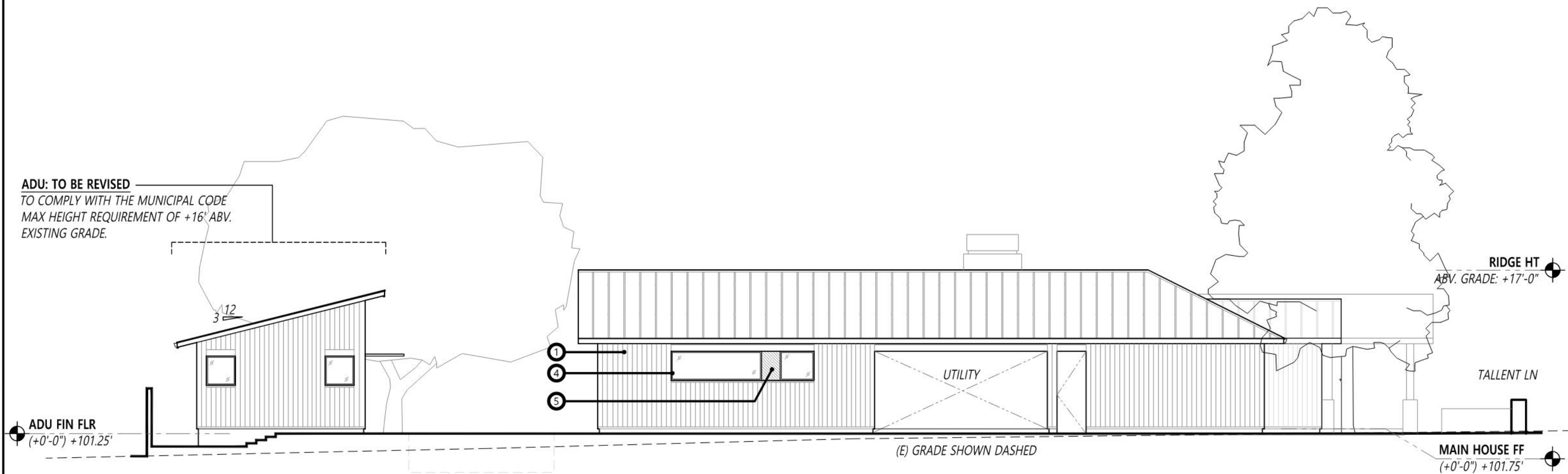
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3 SITE - SECTION  
VIEW NORTH  
1/8" = 1'-0"



2 SITE ELEVATION - SOUTH  
SIDE  
1/8" = 1'-0"



1 SITE ELEVATION - NORTH  
SIDE  
1/8" = 1'-0"

PROPOSED MATERIALS

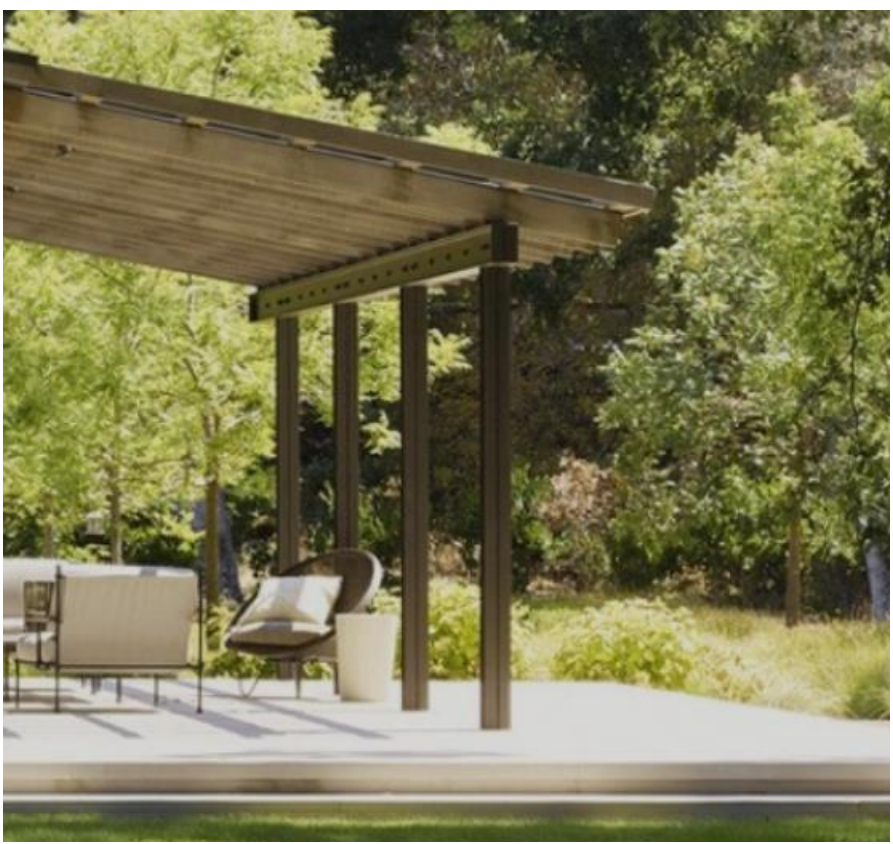
8 PLANTER:  
• CORTEN



7 COLUMNS:  
• WOOD/ STEEL  
• STONE BASE



6 COLUMNS:  
• STEEL



5 METAL PANEL:  
• BLACKENED



PROPOSED MATERIALS

4 DOORS & WINDOWS:  
• BLACK FRAME  
• AWAKE, OR SIM.



3 METAL ROOF:  
• STANDING SEAM  
• DARK BRONZE



2 STONE VENEER:  
• SYAR, OR SIM.



1 VERTICAL SIDING:  
• WOOD T&G CEDAR  
• RANDOM WIDTH: 8"-10"



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ARCHITECTURE+DESIGN

SAPP RESIDENCE

2 TALLENT LANE  
YOUNTVILLE, CA

SEAL/SIGNATURE

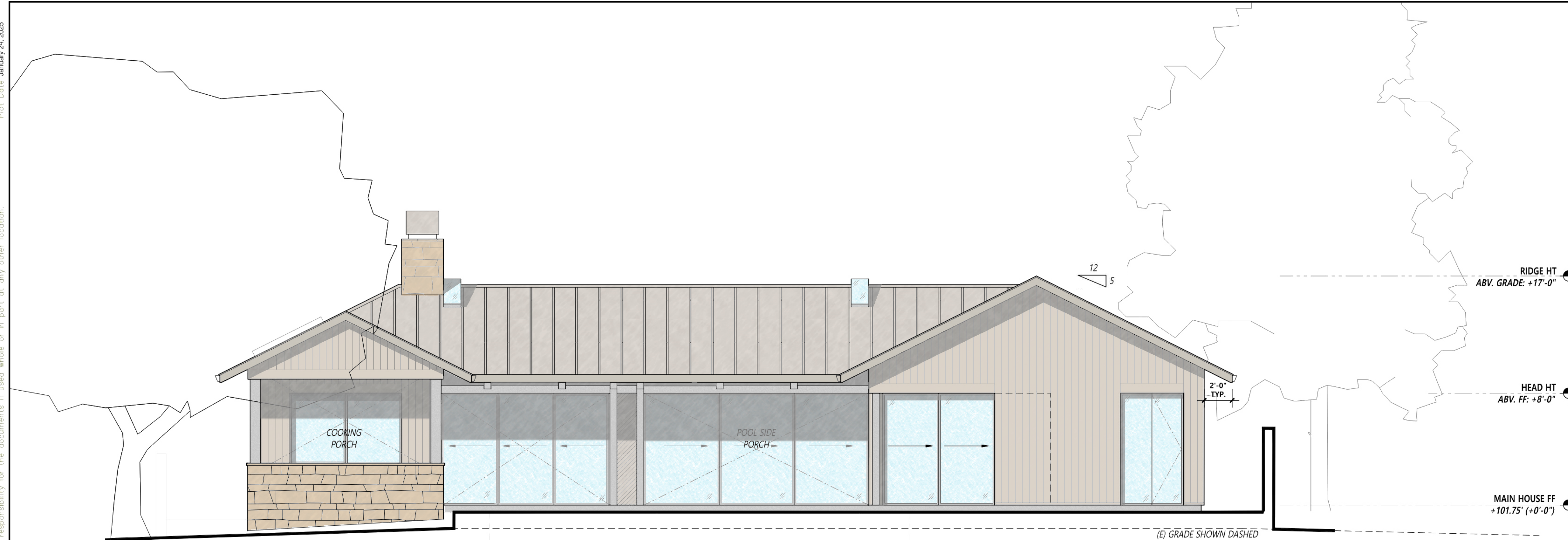
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PROPOSED  
MATERIALS  
& SITE ELEV.

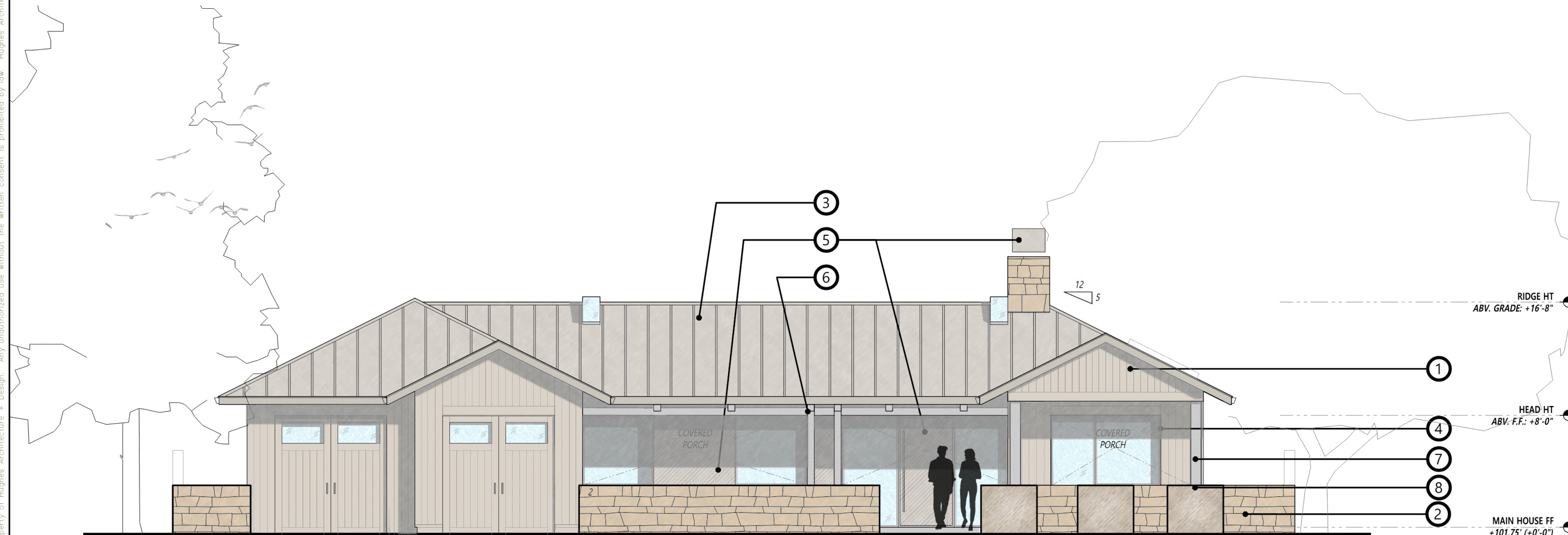
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Project No. 2407





**2 EAST ELEVATION**  
BACK 1/4" = 1'-0"



**1 WEST ELEVATION**  
FRONT

1/4" = 1'-0"



## MATERIAL LEGEND

- 8 PLANTER:  
• CORTEN



- 7 COLUMNS:**
- WOOD/ STEEL
  - STONE BASE



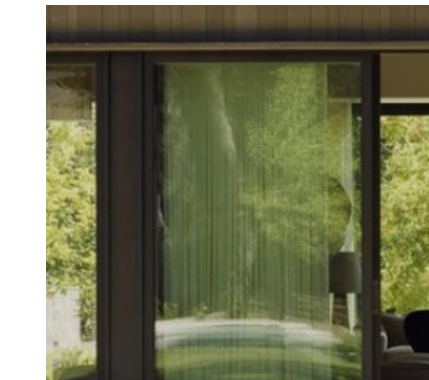
- 6 COLUMNS:  
• STEEL



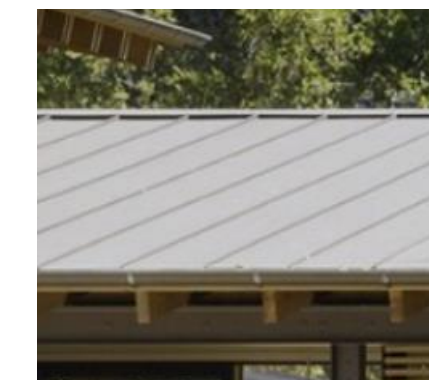
- 5 METAL PANEL:  
• DARK BRONZE



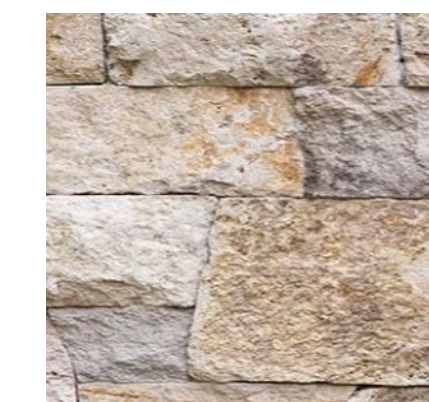
- 4 DOORS & WINDOWS:**
- BLACK FRAME
  - AWAKE, OR SIM.



- 3 METAL ROOF:**
- STANDING SEAM
  - DARK BRONZE



- 2 **STONE VENEER:**  
• SYAR



- 1 **VERTICAL SIDING:**
- WOOD BOARDS
  - RANDOM WIDTH: 8"-10"



## SAPP RESIDENCE

2 TALLENT LANE  
YOUNTVILLE, CA

SEAL/SIGNATURE

DRAWINGS ISSUED

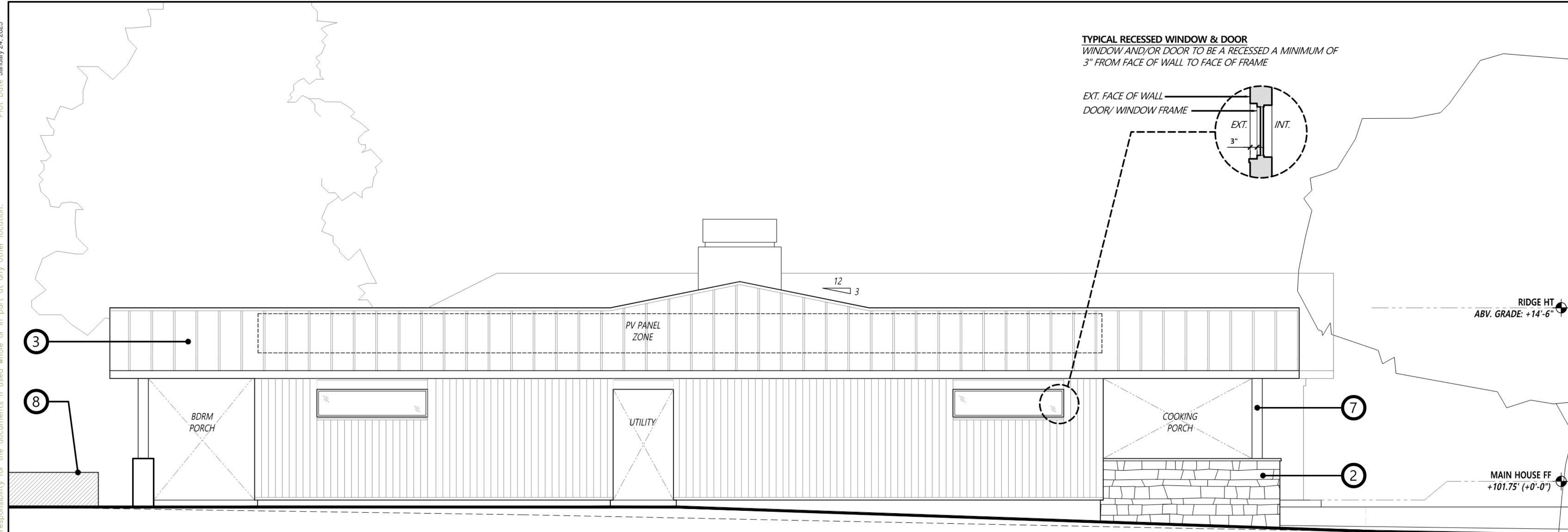
Issue	Date
ZDRB SUBMITTAL	11-15-24
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### ELEVATION

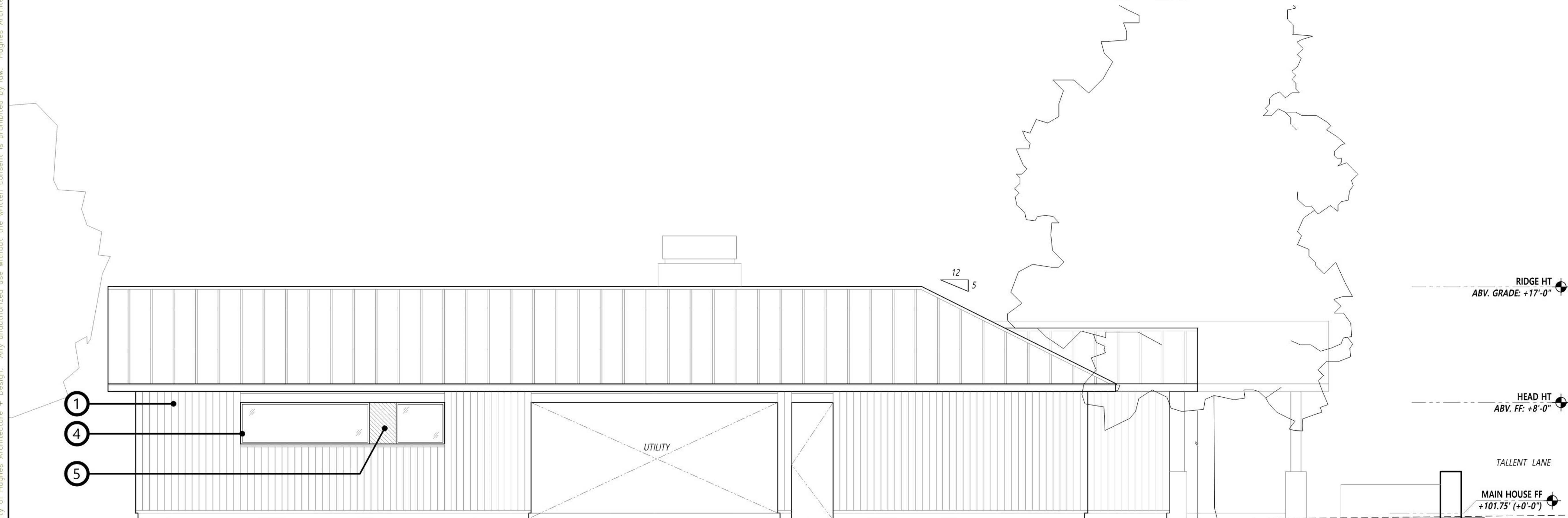
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Project No. 2407





**2 SOUTH ELEVATION**  
SIDE 1/4" = 1'-0"



**1 NORTH ELEVATION**

SIDE

$1/4" = 1'-0"$



## MATERIAL LEGEND

- 8 PLANTER:  
• CORTEN



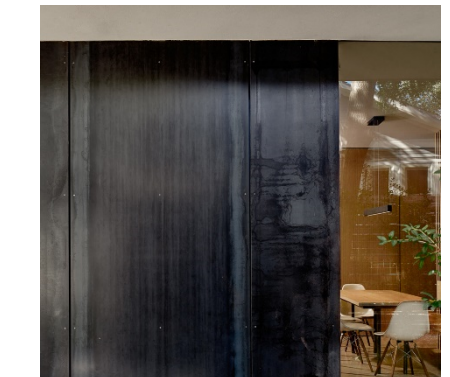
- 7 COLUMNS:**
- WOOD/ STEEL
  - STONE BASE



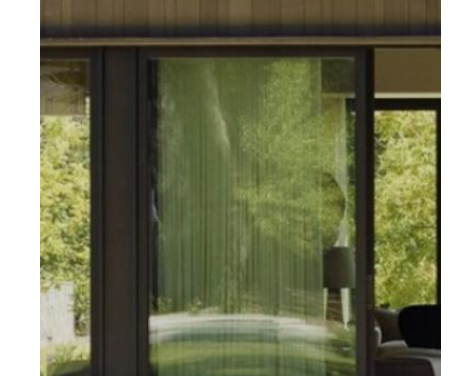
- 6 COLUMNS:  
• STEEL



- 5 METAL PANEL:  
• DARK BRONZE



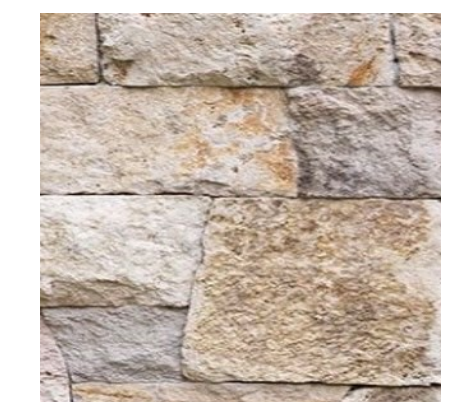
- 4 DOORS & WINDOWS:**
- BLACK FRAME
  - AWAKE, OR SIM.



- 3 METAL ROOF:**
- STANDING SEAM
  - DARK BRONZE



- 2 **STONE VENEER:**  
• SYAR

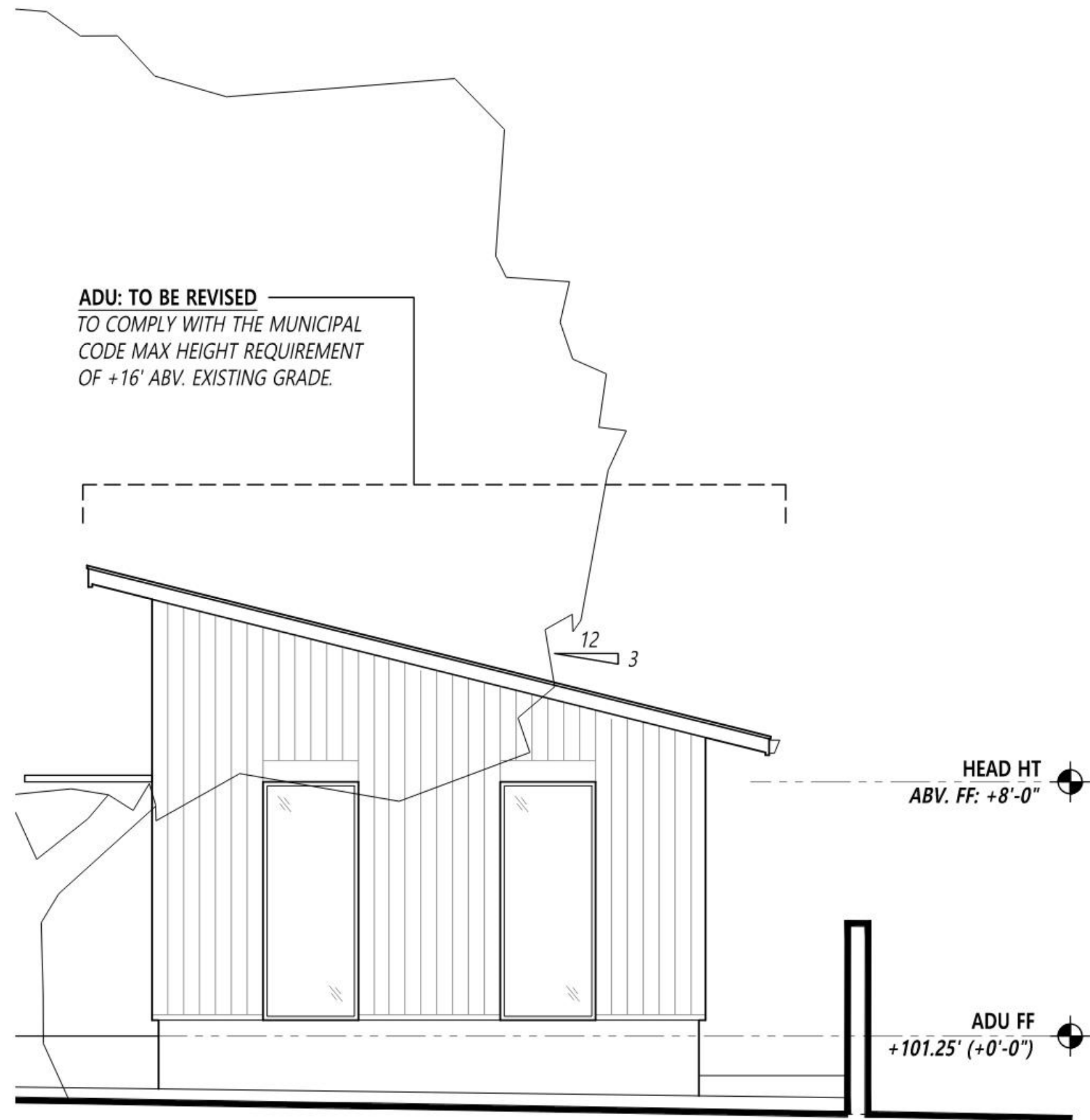


- 1 VERTICAL SIDING:**
- WOOD BOARDS
  - RANDOM WIDTH: 8"-10"

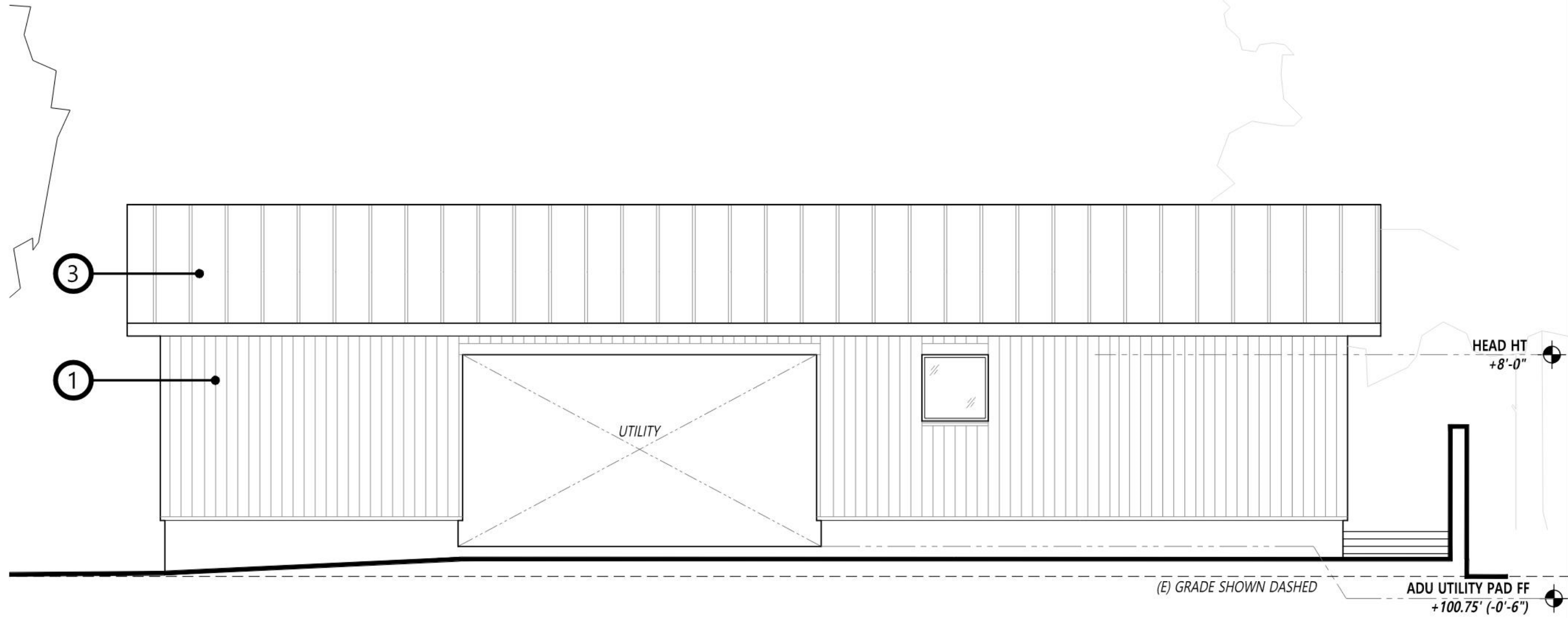




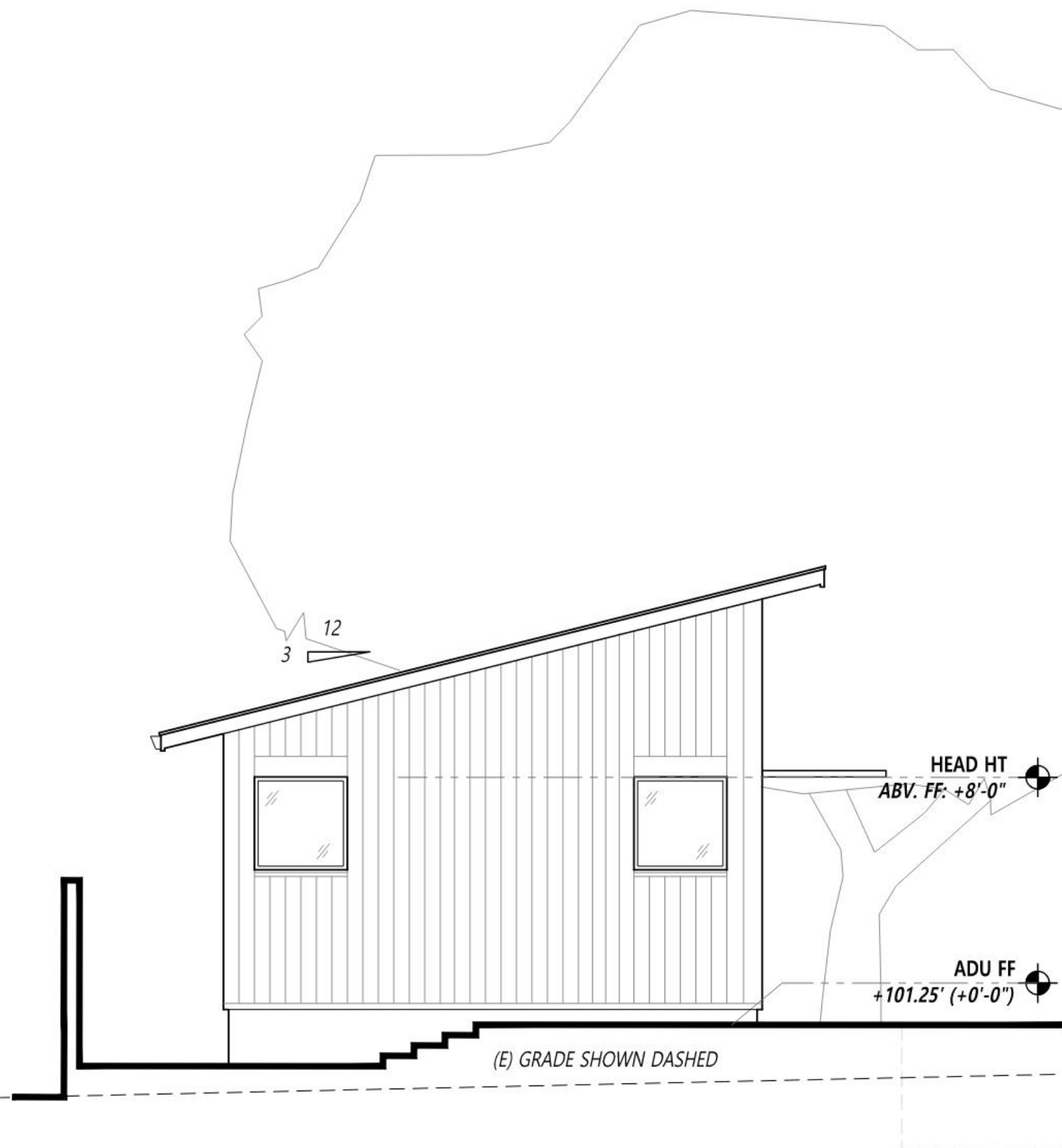
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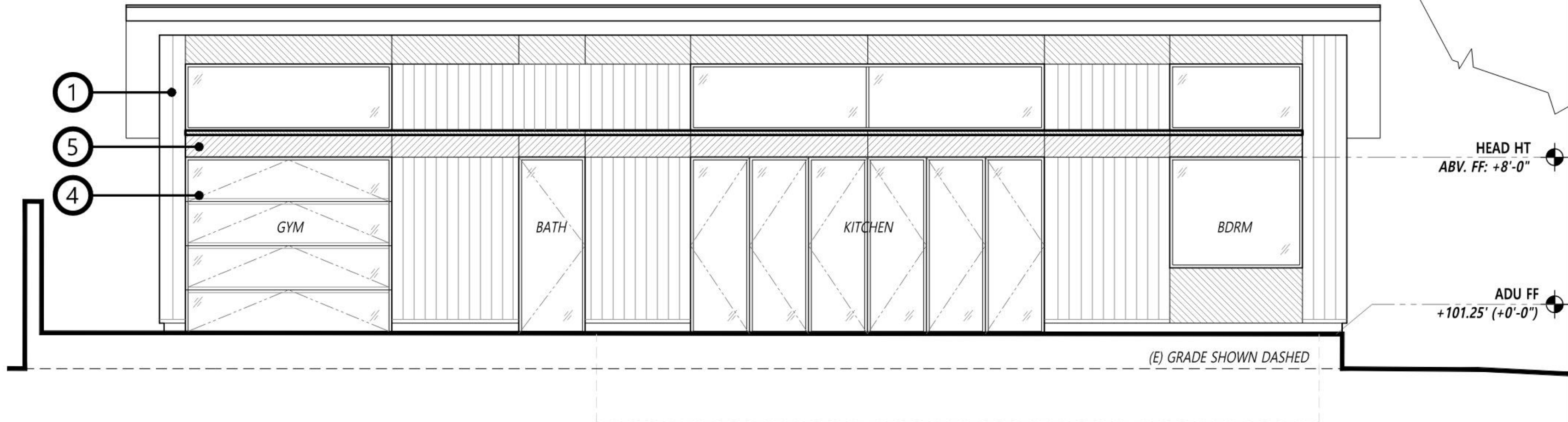
4 ADU - SOUTH ELEVATION  
SIDE 1/4" = 1'-0"



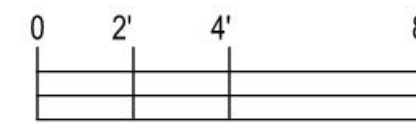
2 EAST ELEVATION  
BACK 1/4" = 1'-0"



3 ADU - NORTH ELEVATION  
SIDE 1/4" = 1'-0"



1 WEST ELEVATION  
FRONT 1/4" = 1'-0"



MATERIAL LEGEND

8 PLANTER:  
• CORTEN



7 COLUMNS:  
• WOOD/ STEEL  
• STONE BASE



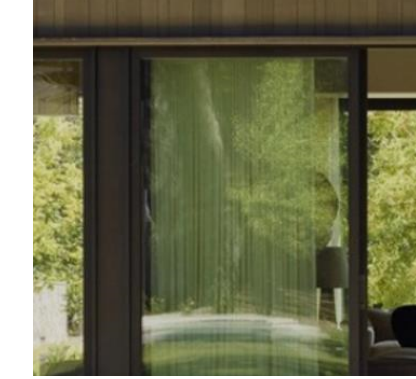
6 COLUMNS:  
• STEEL



5 METAL PANEL:  
• DARK BRONZE



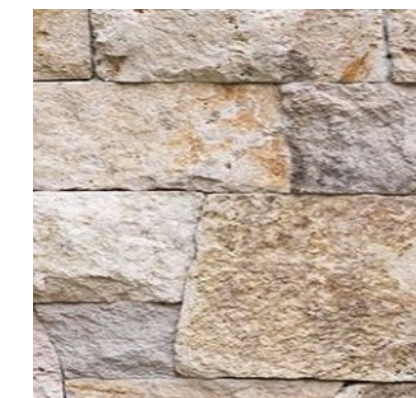
4 DOORS & WINDOWS:  
• BLACK FRAME  
• AWAKE, OR SIM.



3 METAL ROOF:  
• STANDING SEAM  
• DARK BRONZE



2 STONE VENEER:  
• SYAR



1 VERTICAL SIDING:  
• WOOD BOARDS  
• RANDOM WIDTH: 8"-10"



HUGHES  
ARCHITECTURE+DESIGN

SAPP RESIDENCE

2 TALLENT LANE  
YOUNTVILLE, CA

SEAL/SIGNATURE

DRAWINGS ISSUED

Issue	Date
ZDRB SUBMITTAL	11-15-24
ZDRB RESUBMITTAL	01-27-25

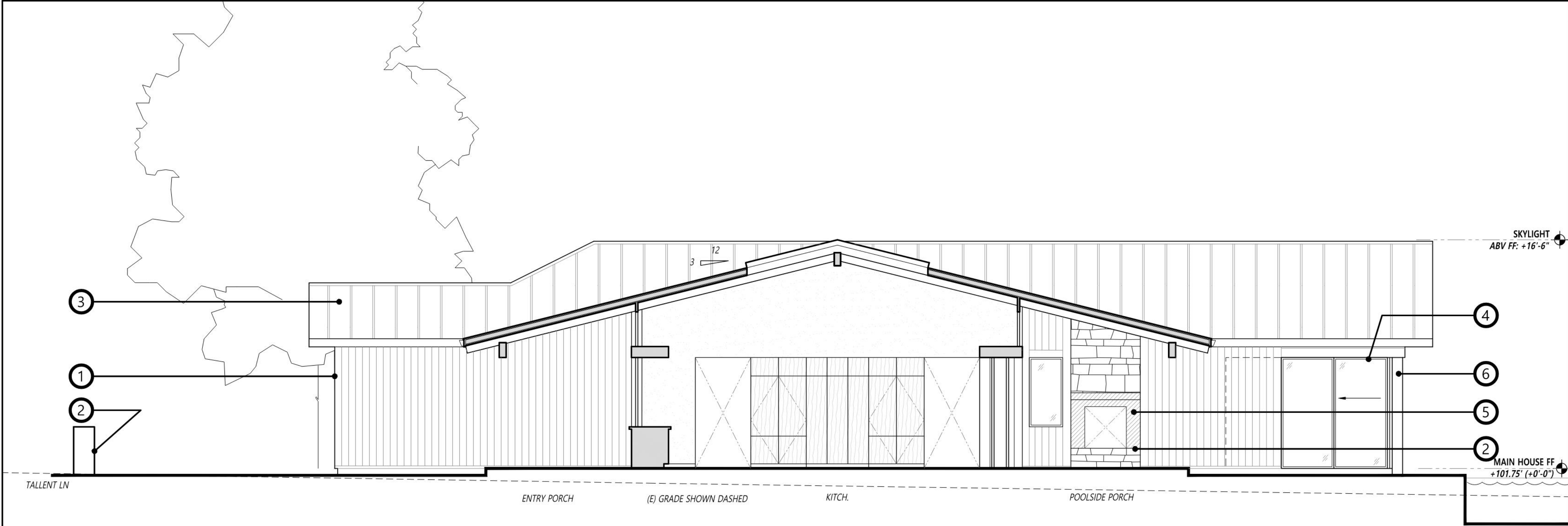
ELEVATION

A3.03

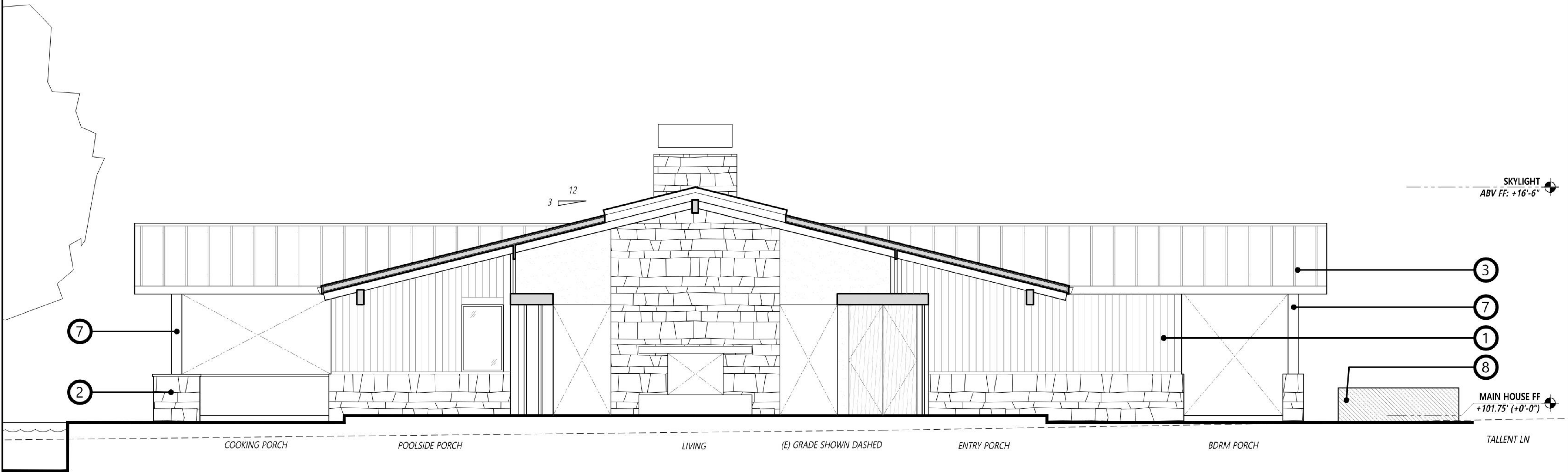
Project No. 2407



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**2** BUILDING SECTION  
VIEW NORTH  
1/4" = 1'-0"



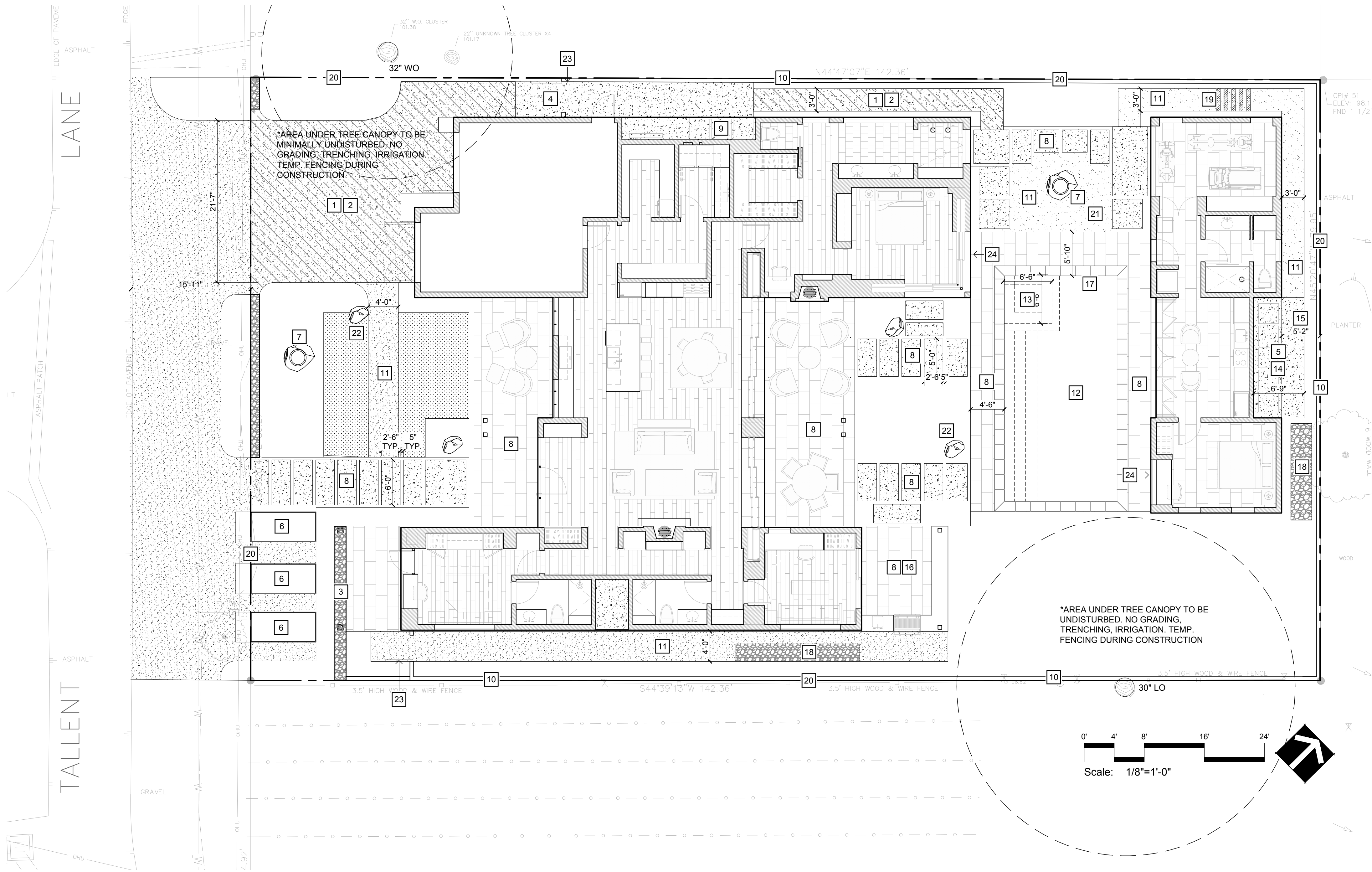
**1** BUILDING SECTION  
VIEW SOUTH  
1/4" = 1'-0"

**MATERIAL LEGEND**

- 8** **PLANTER:**
  - CORTEN
- 7** **COLUMNS:**
  - WOOD/ STEEL
  - STONE BASE
- 6** **COLUMNS:**
  - STEEL
- 5** **METAL PANEL:**
  - DARK BRONZE
- 4** **DOORS & WINDOWS:**
  - BLACK FRAME
  - AWAKE, OR SIM.
- 3** **METAL ROOF:**
  - STANDING SEAM
  - DARK BRONZE
- 2** **STONE VENEER:**
  - SYAR
- 1** **VERTICAL SIDING:**
  - WOOD BOARDS
  - RANDOM WIDTH: 8"-10"



/Users/cbh/dropbox/cbhcurrenprojects/napa/sapp/CD DRAWINGS/L10-SAPP\_LAYOUT.DWG

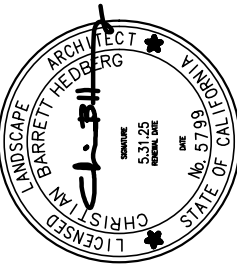


### SITE PLAN LEGEND

SYMBOL	INDICATED EXPLANATION OR MEANING
1	GRAVELPAVE 2 (TAN) BY INVISIBLE STRUCTURES UNDER GRAVEL. OAK TREE ROOT PROTECTION (NON-COMPACTION), AND POROUS. ADA COMPLIANT
2	5/8" WASHED & CRUSHED GRANITE (NO COMPACTION OR EXCAVATION)
3	36"H STONE CLAD WALL
4	CONCRETE PAVING. <b>SEE DETAIL: H, SHEET: L1.1</b>
5	COLORLED CONCRETE (T.B.D.) W/ LIGHT WASH FINISH
6	CONCRETE PAD. <b>SEE DETAIL: H, SHEET: L1.1</b>
7	COLORLED CONCRETE PAD (TYP.), COLOR T.B.D.
8	CORTEN STEEL RAISED BEDS
9	BOULDER FOUNTAIN BY LANDSCAPE ARCHITECT
10	PORCELAIN TILE. <b>SEE DETAIL: F, SHEET: L1.1</b>
11	1/2" THICK PORCELAIN TILE (TYPE & STYLE T.B.D.) O/ SCHLUTER ANTI-CRACK MEMBRANE ON 5" CONCRETE SUB-POUR & 6" COMPACTED SUB-GRADE
12	REFUSE AREA
13	WOOD PERIMETER FENCE. <b>SEE DETAIL: D &amp; E, SHEET: L1.1</b>
14	1x6 HORIZONTAL CEDAR BOARDS W/ 1/2" GAP. 6" HIGH. 4x6 P.T. POSTS. 2x6 CAP. WOOD TO BE STAINED AND APPROVED BY OWNER.
15	GRAVEL PATH. <b>SEE DETAIL: I, SHEET: L1.1</b>
16	5/8" CRUSHED GRANITE O/ GOPHER WIRE W/ METAL HEADER PERIMETER EDGING. GRAVEL TO BE APPROVED BY OWNER.
17	POOL: 15'-4"x29'-8" POOL & POOL COVER
18	SPA: 6'-6"x6'-6"
19	POOL EQUIPMENT AREA
20	5' POOL EQUIPMENT SETBACK
21	OUTDOOR BBQ AREA
22	FAST LANE PRO WALL JETS
23	STONE DETENTION SWALE, SEE CIVIL DRAWINGS
24	WOOD STEP. <b>SEE DETAIL: J, SHEET: L1.1</b>
25	(5) PT WOOD STEPS DOWN
26	PROPERTY LINE
27	EXISTING WELL TO BE USED FOR IRRIGATION ONLY. NEW 24"x36" CEMENT VAULT BOX
28	LANDSCAPE BOULDER. <b>SEE DETAIL: K, SHEET: L1.1</b>
29	STEEL FRAME WOOD GATE
30	SLOT DRAIN, SEE CIVIL DRAWINGS

### GENERAL NOTES

- CONTRACTOR SHALL PROVIDE WORKMAN'S COMPENSATION INSURANCE, LIABILITY INSURANCE, AN PERFORMANCE BOND IN THE AMOUNT OF THE COST OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY CBLA INC. OF DISCREPANCIES.
- CONTRACTOR SHALL VERIFY EASEMENTS (PUBLIC OR PRIVATE) FOR SEWER, WATER, ELECTRICAL, TELEPHONE, CABLE T.V. AND GAS PRIOR TO STARTING CONSTRUCTION.
- VERIFY ALL UTILITY DATA AND LOCATIONS PRIOR TO ANY WORK. ONSITE UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE AGENCY OR UTILITY COMPANY.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE THE DRAWINGS. WHERE DISCREPANCIES OCCUR, NOTIFY CBLA, INC..
- ACCEPT NO INK OR PENCIL CORRECTIONS TO THESE DRAWINGS WITHOUT THE DESIGNER'S INITIAL OR SIGNATURE. CBH DESIGN SHALL BE HELD HARMLESS FOR ALL CHANGES NOT IN CONFORMANCE WITH THIS PROVISION.
- ALL USERS OF THESE DRAWINGS AGREE BY USING THESE DRAWINGS TO HOLD CBLA, INC. HARMLESS FOR ANY AND ALL WORK THAT DOES NOT CONFORM TO REQUIREMENTS AND MINIMUM STANDARDS OF THE APPLICABLE BUILDING CODES. LOCAL ORDINANCE, AND ACCEPTABLE STANDARDS.
- THESE DRAWINGS ARE THE PROPERTY OF CBLA INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY WORK OTHER THAN AT THE LOCATION SHOWN ON THESE PLANS.
- CBLA, INC. SHALL HAVE NO CONTROL OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- CBLA, INC. ASSUMES NO RESPONSIBILITY FOR PERFORMANCE OF PRODUCTS OR MATERIALS SPECIFIED.



NO.	DATE	ISSUES AND REVISIONS	BY

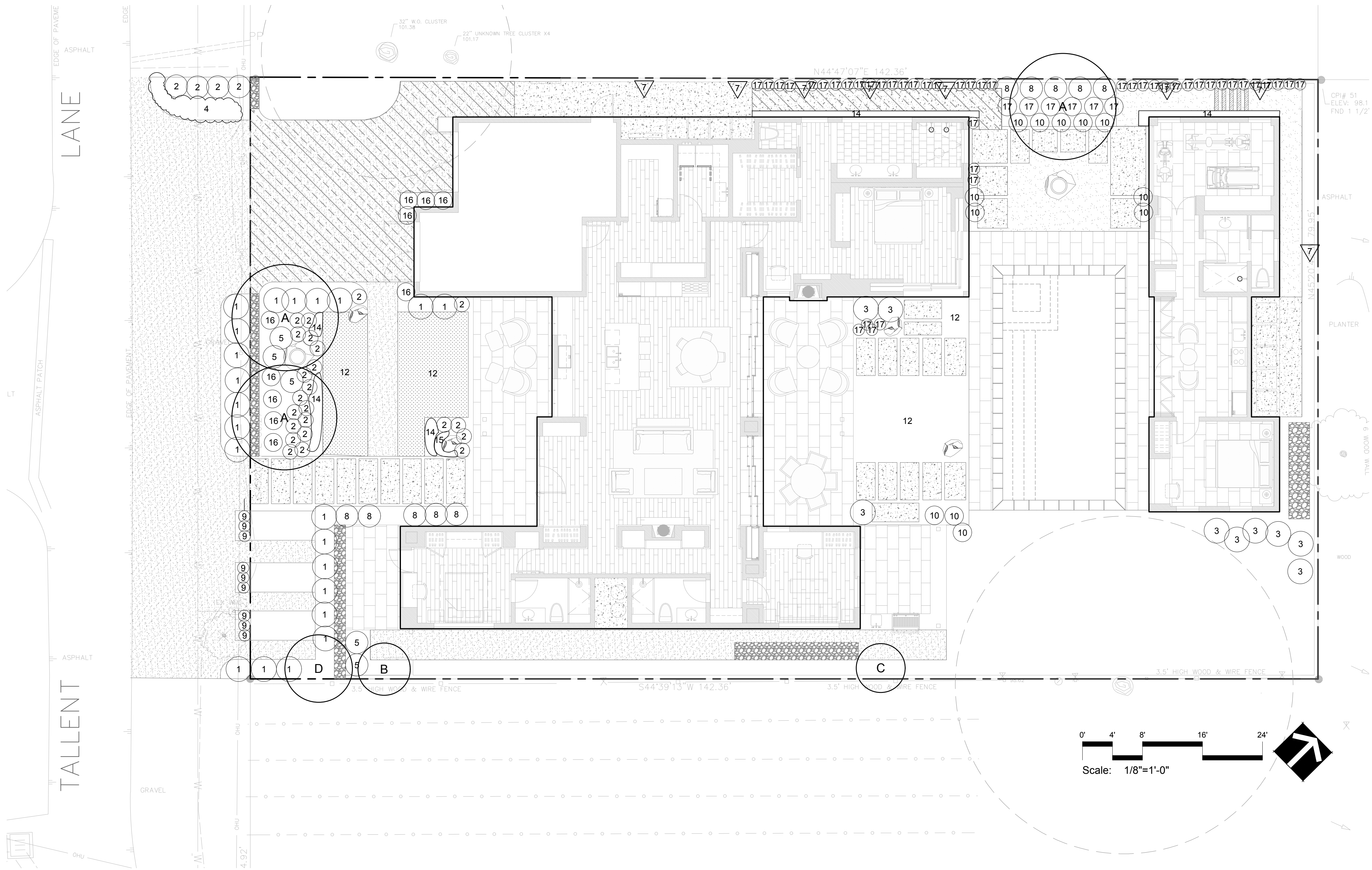
### MATERIAL & LAYOUT PLAN

SAPP RESIDENCE  
2 Talent Lane  
Yountville, CA 94599

Date	10/21/2024
Scale	
Drawn	CBH
Job	
Print Date	1.27.25
Sheet	L1.0
Of	
Sheets	



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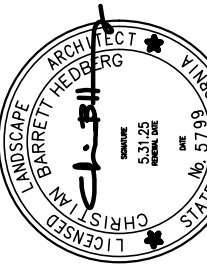


TREE PLANTING LEGEND						
SYM.	Count	SIZE	BOTANICAL	COMMON	COMMENT	W.U.
A	3	48" BOX	OLEA E. 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY FRUITLESS OLIVE	-	LOW
B	1	15 GAL	CITRUS L. 'BEARSS'	BEARSS LIME	-	MEDIUM
C	1	15 GAL	CITRUS U. 'MIHO WASE'	MIHO WASE SATSUMA MANDARIN	-	MEDIUM
D	1	15 GAL	CITRUS L. 'LISBON'	LISBON LEMON	-	MEDIUM

SHRUBS/PERENNIALS, GRASSES, GROUNDCOVERS & VINES						
SYM.	Count	SIZE	BOTANICAL	COMMON	COMMENT	W.U.
1	22	5 GAL	OLEA E. 'LITTLE OLLIE'	DWARF OLIVE	-	MEDIUM
2	28	5 GAL	CALAMAGROSTIS FOLIOSA	MENDOCINO REED GRASS	-	MEDIUM
3	9	5 GAL	ASPARAGUS D. 'MYERS'	FOXTAIL FERN	-	MEDIUM
4		1 GAL	BOUTELOUA G. 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA GRASS	30" O.C. SPACING	LOW
5	5	5 GAL	PENNISETUM SPATHIOLATUM	SLENDER VELDT GRASS	-	MEDIUM
7	8	5 GAL	HARDENBERGIA V. 'CANOE LANDS'	LILAC VINE	-	MEDIUM
8	10	15 GAL	PODOCARPUS M. 'MAKI'	SHRUBBY YEW PODOCARPUS	-	MEDIUM
9	9	1 GAL	SALVIA N. 'MAY NIGHT'	MAY NIGHT SAGE	-	MEDIUM
10	13	1 GAL	CAREX O. 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	-	MEDIUM
11	0	15 GAL	ARCTOSTAPHYLOS V. 'WHITE CLOUD'	WHITE HAIR MANZANITA	-	LOW
12	5	ROLLS	TENCATE - DIAMOND PRO FESCUE	SYNTHETIC GRASS	-	-
14		4" POT	SEDUM R. 'ANGELINA'	ANGELINA STONECROP	18" O.C. SPACING	LOW
15		4" POT	ECHEVERIA I. 'BLUE ROSE'	BLUE ROSE HENS & CHICKS	8" O.C. SPACING	LOW
16	10	5 GAL	LOMANDRA L. 'VARIEGATA'	VARIEGATED MAT RUSH	-	MEDIUM
17	48	1 GAL	HEUCHERA 'GINGER ALE'	GINGER ALE CORAL BELLS	-	MEDIUM

PLANTING NOTES

- CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION WITH OWNER FOR LOCATION OF UNDERGROUND UTILITIES.
- PLANT LIST IS FOR CONVENIENCE OF CONTRACTOR. PLAN IS TO PREVAIL AND LANDSCAPE ARCHITECT AND OWNER TO MAKE FINAL ADJUSTMENTS AS NECESSARY.
- CONTRACTOR TO BE RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANTED AREA.
- IRRIGATION TO BE COORDINATED WITH PLANTING PLAN.
- ALL PROPOSED PLANTING AREAS SHALL BE CLEARED OF ANY WEEDS AND DEBRIS PRIOR TO SOIL PREPARATION. IN CASE OF PERNICIOUS PERENNIAL WEEDS, PULL ALL WEEDS BY HAND.
- NO SOIL PREPARATION SHALL TAKE PLACE IN AREAS WHERE SOIL IS CONTAMINATED WITH CEMENT PLASTER, PAINT OR OTHER CONSTRUCTION DEBRIS. ALL CONTAMINATED SOIL SHALL BE REMOVED AND REPLACED WITH SANDY LOAM CAPABLE OF SUSTAINING HEALTHY PLANT LIFE.
- ALL PLANTS SHALL BE AMENDED WITH SONOMA ORGANIC HI-TEST COMPOST. TILL INTO TOP 12" OF NATIVE SOIL. PLANTING BACKFILL TO BE 50% NATIVE MIX SOIL AND 50% ORGANIC COMPOST. IN AREAS WHERE TOPSOIL IS NEEDED USE FEATHER LITE AMENDED SOIL & COMPOST.
- PLANT MATERIAL MAY BE SUBJECT TO CHANGE AS PER OWNER OR LANDSCAPE ARCHITECT'S DISCRETION.
- ANY CLARIFICATION OR QUESTIONS ON PLANS, SPECIFICATIONS AND DETAILS SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH WORK.
- ALL PLANTER AREAS TO BE TOP DRESSED WITH SHREDDED ARBOR MULCH AT A DEPTH OF 2"-3".
- ALL TREES SHALL BE PLANTED IN DEEP ROOT BOXES. (TYP.) IF WITHIN 6FT. OF WALL, WALK, PATIO, PARKING CURB ETC.
- STANDARD TREES 15G AND SMALLER TO BE STAKED WITH 2-2" DIA. X 8' LODGEPOLE PINE TREE STAKES AND 2 TREE TIES. MULTI STEM TREES 24" AND LARGER TO BE GUYED WITH 3 WIRE/TURNBUCKLE/STAKE ASSEMBLIES PER TREE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL NEW PLANTINGS FOR THE DURATION OF SIX MONTHS. THE GUARANTEE PERIOD SHALL BEGIN AFTER THE FINAL INSPECTION AND APPROVAL. CONTRACTOR TO PROVIDE A 60 DAY ESTABLISHED MAINTENANCE PERIOD FROM THAT DATE.



NO.	DATE	ISSUES AND REVISIONS	BY

PLANTING PLAN

SAPP RESIDENCE  
2 Tallent Lane  
Yountville, CA 94599