

MILLER RESIDENCE

6651 JEFFERSON STREET, YOUNTVILLE, CALIFORNIA, 94599

DESIGN REVIEW

MICHAEL GUTHRIE  
+ CO. ARCHITECTS

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CONSULTANTS

GENERAL NOTES		ABBREVIATIONS		PROJECT INFORMATION		VICINITY MAP		SHEET INDEX																																											
<div>1. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL WORK PROVIDED BY ANY AND ALL SUBCONTRACTOR'S. GENERAL NOTES THAT REFER TO "CONTRACTOR" INCLUDE ALL WORK PROVIDED BY SUBCONTRACTORS. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS, AND CONDITIONS IN FIELD PRIOR TO THE START OF PROJECT AND AT APPROPRIATE TIMES DURING THE COURSE OF CONSTRUCTION BEFORE RELATED PROJECT PHASES.</div> <div>2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY WHEN ANY CONDITION IS DISCOVERED THAT WOULD PREVENT PROPER EXECUTION OF THE CONTRACT DOCUMENTS INCLUDING ANY CONFLICTS BETWEEN THE SITE CONDITIONS AND THE CONTRACT DOCUMENTS, AND ANY CONFLICTS OR AMBIGUITIES WITHIN THE CONTRACT DOCUMENTS.</div> <div>3. THE CONTRACTOR IS TO BE RESPONSIBLE FOR THE TIMELY COORDINATION AND SEQUENCING OF VARIOUS ARCHITECTS, ENGINEERS, LOCAL AUTHORITIES, MANUFACTURERS, SUPPLIERS, AND INSTALLERS REQUIREMENTS AND FOR THE TIMELY REVIEW OF REQUIRED EQUIPMENT AND MATERIALS FOR INSTALLATION PRIOR TO BEGINNING CONSTRUCTION OR SEQUENCING SUBSEQUENT CONSTRUCTION.</div> <div>4. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS/HER RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF HIS/HER BID AND THE PERFORMANCE OF WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE CONSTRUCTION DOCUMENTS WHICH CANNOT BE EXECUTED AS INDICATED OR CANNOT BE FULLY GUARANTEED. THE CONTRACTOR WILL THEN NOTIFY THE OWNER AND ARCHITECT PRIOR TO ACCEPTANCE OF CONTRACTOR'S BID.</div> <div>5. THE CONTRACTOR SHALL, AS A PART OF THE CONTRACT, SECURE AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS REQUIRED FOR THE CONSTRUCTION WORK.</div> <div>6. UNLESS SPECIFICALLY NOTED OTHERWISE IN THE DRAWINGS, ALL WORK AND MATERIALS CALLED FOR ARE TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR AS A PART OF THE CONTRACT FOR CONSTRUCTION.</div> <div>7. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMAN-LIKE MANNER IN KEEPING WITH THE HIGHEST STANDARDS OF THE CONSTRUCTION INDUSTRYBY WORKMEN EXPERIENCED AND LICENSED IN THEIR RESPECTIVE TRADES. ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK AND SCHEDULING WITH THE WORK OF OTHER SUBCONTRACTORS AND/OR THE GENERAL CONTRACTOR, AND SHALL BE RESPONSIBLE FOR HIS/HER OWN MATERIALS, TOOLS AND LABOR, REMOVE HIS TOOLS AND SURPLUS MATERIALS, AS WELL AS ANY DEBRIS RESULTING FROM THIS WORK FROM THE SITE.</div> <div>8. ALL CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH ALL PROVISIONS OF APPLICABLE CODES (UBC, UPC, UMC, NEC, ETC.). CODE COMPLIANCE SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. IN THE CASE OF CONFLICT WITH THE DRAWINGS AND APPLICABLE CODES, OR OF CONFLICT WITHIN THE DRAWINGS, THE MOST STRINGENT REQMTS SHALL APPLY.</div> <div>9. SPECIFICATIONS ARE HANDLED SEPARATELY IN THE FORM OF A MANUAL AND COVER ALL PERTINENT SECTIONS RELATED TO THE SCOPE OF THE WORK HEREIN. IN THE EVEN OF A CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECS SHALL PREVAIL.</div> <div>10. CONTRACTOR IS TO INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. IN THE EVENT THAT MANUFACTURERS SPECIFICATIONS CONFLICT WITH THE DRAWINGS THEN MANUFACTURERS SPECIFICATIONS WILL PREVAIL.</div> <div>11. EXISTING SITE CONDITIONS MUST BE VERIFIED BY CONTRACTOR. THE CONTRACTOR MUST BRING DISCOVERED INACOURACIES TO THE OWNER'S AND ARCHITECT'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.</div> <div>12. THE CONTRACTOR SHALL PROVIDE ANY AND ALL TEMPORARY BRACING AND SHORING REQUIRED TO SUPPORT ALL LOADS TO WHICH THE EXISTING BUILDING AND BUILDING COMPONENTS AS WELL AS NEW CONSTRUCTION, SOILS, UTILITIES, ETC. MAY BE SUBJECT TO DURING CONSTRUCTION.</div> <div>13. CONTRACTOR IS TO PROVIDE SAMPLES OF REQUESTED SUBMITTALS AND OF ALL PROPOSED MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW. THE ARCHITECT WILL REQUIRE FIVE WORKING DAYS FOR REVIEW OF ALL SUBMITTALS INCLUDING SHOP DRAWINGS. SHOP DRAWINGS AND MATERIALS TO THE ARCHITECT WILL HAVE BEEN REVIEWED AND APPROVED BY THE CONTRACTOR. BY SUBMITTING SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT, THE CONTRACTOR REPRESENTS THAT THE CONTRACTOR HAS DETERMINED AND VERIFIED MATERIAL, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION RELATED THERETO, AND HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS. THE ARCHITECT'S REVIEW OF SUBMITTALS AND SHOP DRAWINGS IS FOR CONFIRMATION OF DESIGN INTENT ONLY.</div> <div>14. PROVIDE ALL SUBMITTALS REQUESTED FOR ARCHITECT'S REVIEW INCLUDING MATERIAL SAMPLES, IN FIELD PAINT-OUTS AND CABINET AND OTHER REQUESTED SHOP DRAWINGS.</div> <div>15. CONTRACTOR SHALL NOT DUMP ANY PLASTER, PAINT, OR SOLID WASTES ON THE SITE OR THROUGH THE SITE WASTE DISPOSAL SYSTEM. CONTRACTOR WILL PROVIDE ALL DEMOLITION AND PROGRESSIVE CLEAN-UPS.</div> <div>16. THE CONTRACTOR SHALL CONDUCT THE FINAL CLEANING OF ALL AREAS AFFECTED BY THIS WORK. HE SHALL VISUALLY INSPECT ALL EXTERIOR AND INTERIOR SURFACES AND REMOVE ALL DIRT, WASTE, STAINS, PAINT DROPPINGS, CLEAN AND POLISH ALL GLASS EITHER INSTALLED OR AFFECTED BY THIS WORK.</div> <div>17. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DWGS, TYP.</div> <div>18. GREAT CARE HAS BEEN TAKEN TO ENSURE KEY ELEMENTS ALIGN AND ARE PLACED ON CENTER (AS NOTED). CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT SHOULD ANY DISCREPANCIES OCCUR TO MAINTAIN DESIGN INTENTIONS.</div> <div>19. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.</div> <div>20. WINDOW AND DOOR LOCATIONS ARE TYPICALLY GIVEN TO THE CENTERLINE. CO-ORDINATE WITH WINDOW AND DOOR MANUFACTURER FOR R.O. DIMENSIONS.</div> <div>21. ALL QUESTIONS, DISCREPANCIES, AND CLARIFICATIONS BROUGHT TO THE ARCHITECT'S AND OWNER'S ATTENTION WILL BE SENT BY THE CONTRACTOR OR CONTRACTOR'S SUPERINTENDENT.</div> <div>22. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE PREPARED BY THE ARCHITECT EXCLUSIVELY AND COPYRIGHT OF THE ARCHITECT ALONE, AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT BETWEEN THE ARCHITECT AND PROJECT OWNER.</div> <div>23. CONTRACTOR MUST RECYCLE/SALVAGE AT MIN. 65% OF NON-HAZARDOUS CONSTRUCTION WASTE GENERATED AT PROJECT SITE TO BE DIVERTED TO A RECYCLING FACILITY THAT IS APPROVED BY BUILDING DEPARTMENT.</div> <div>24. DOCUMENTATION OF THE ABOVE SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 5.408.1.1,THRU 5.408.1.3. THE WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE ACCESSIBLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.</div>		<div>&amp; L O CL CP # d</div> <div>AND ANGLE AT CENTER LINE CENTER POINT POUND OR NUMBER PENNY</div> <div>ACOUS. ADJ. APPROX. A.F.F. ALT. ALUM. A.B.</div> <div>ACOUSTIC ADJUSTABLE APPROXIMATE ABOVE FINISH FLOOR ALTERNATE ALUMINUM ANCHOR BOLT</div> <div>BD. BITUM. BLDG. BLK. BLK'G. B.O.</div> <div>BOARD BITUMINOUS BUILDING BLOCK BLOCKING BOTTOM OF</div> <div>CLG. C.T. CLK'G. CLR. CONC. CONN. CONST. CONT. CTSK. CMU</div> <div>CEILING CERAMIC TILE CAULKING CLEAR CONCRETE CONNECTION CONSTRUCTION CONTINUOUS COUNTERSUNK CONCRETE MASONRY UNIT</div> <div>D DBL DEC DET./DTL. D.F. DIA. DIM. DN. DWG.</div> <div>DEPTH DOUBLE DECORATIVE DETAIL DOUGLAS FIR DIAMETER DIMENSION DOWN DRAWING</div> <div>EA. ELEC. ELEV. E.P. EQ. (E) EXT.</div> <div>EACH ELECTRICAL ELEVATION ELECTRICAL PANEL EQUAL EXISTING EXTERIOR</div> <div>F.A. FIN. FLR. F.O.F. F.O.S. FT. FTG. FURR. F.O.M. F.D.</div> <div>FINISH FLOOR FINISH FLOOR FACE OF FINISH FACE OF STUD FOOT FOOTING FURRING FACE OF MASONRY FLOOR DRAIN</div> <div>GA. G.C. GL. GSM GWB GYP. BD.</div> <div>GAUGE GENERAL CONTRACTOR GLASS GALVANIZED SHEET METAL GYPSUM WALL BOARD GYPSUM BOARD</div> <div>H H.B. H.C. HOWD. HWDRE. H.M. HORIZ. HR.</div> <div>HEIGHT HOSE BIB HOLLOW CORE HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR</div> <div>IN. INTM. INSUL. INT.</div> <div>INTERMEDIATE INSULATION INTERIOR</div> <div>LAM. LT.</div> <div>LAMINATE LIGHT</div> <div>M.B. MAX. MECH. MEM. MFR. MIN. MISC. M.O. MTD. MTL. MUL.</div> <div>MACHINE BOLT MAXIMUM MECHANICAL MEMBRANE MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED METAL MULLION</div> <div>N N.I.C. NO. N.T.S.</div> <div>NORTH NOT IN CONTRACT NUMBER NOT TO SCALE</div> <div>O.C. O.F.C.I.</div> <div>ON CENTER OWNER FURNISHED, CONTRACTOR INSTALLED</div> <div>P. LAM. PLYWD. PREP. P.T. PTD. PTN.</div> <div>PLASTIC LAMINATE PLYWOOD PREPARE PRESSURE-TREATED PAINTED PARTITION</div> <div>Q.T. R. RAD. REFR. REINF. REQ'D RESIL. RM. R.O. RWD. RWL.</div> <div>QUARRY TILE RISER RADIUS REFRIGERATOR REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING REDWOOD RAINWATER LEADER</div> <div>SQ. FT SHT. SQ. IN. SIM. S.K.D. SPEC. SQ. S.S. STD. STL. STOR. S.D.</div> <div>SQUARE FEET SHEET SQUARE INCH SIMILAR SEE FOOD SERVICE DWGS SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STORAGE SEE STRUCTURAL DWGS</div> <div>TEL. T&amp;G T. THK. TYP. T.O. T.O.C. T.O.S. T.S.</div> <div>TELEPHONE TONGUE AND GROOVE TREAD THICK TYPICAL TOP OF TOP OF CONCRETE TOP OF SLAB TUBE STEEL</div> <div>U.O.N.</div> <div>UNLESS OTHERWISE NOTED</div> <div>VERT. V.I.F. V.G.</div> <div>VERTICAL VERIFY IN FIELD VERTICAL GRAIN</div> <div>W W/ WD. W/O W.P. W.R.</div> <div>WIDTH WITH WOOD WITHOUT WATERPROOF WATER RESISTANT</div>	<div><b>PROJECT DESCRIPTION:</b> DEMOLISH AN EXISTING ONE-STORY SINGLE FAMILY HOUSE REBUILT A NEW ONE-STORY SINGLE FAMILY HOUSE AND AN ATTACHED ACCESSORY DWELLING UNIT (ADU)  THE DESIGN OF THE PROPOSED HOUSE AND ADU IS INTENDED TO HONOR THE HISTORICAL DISTRICT'S CHARACTER, CONTRIBUTING TO THE SURROUNDING NEIGHBORHOOD'S CHARM, WHILE ALSO MEETING THE REQUIREMENTS OF A MODERN FAMILY HOME.  <b>RESIDENTIAL DATA INFORMATION:</b> SITE ADDRESS: 6651 JEFFERSON STREET YOUNTVILLE, CALIFORNIA 94599  APN : 036-035-004 ZONING CLASSIFICATION: H - OLD TOWN HISTORIC LOT SIZE (SQ FT): 5,636± (0.13± ACRES) OCCUPANCY: R-3 CONSTRUCTION TYPE: V-B STORIES: ONE FIRE SUPPRESSION: AUTOMATIC SPRINKLERS THROUGHOUT (N) HOUSE AND (N) ADU FLOOD ZONE: FEMA ZONE X FRONT SETBACK: PRIMARY BUILDINGS: 10' FOR BUILDINGS UP TO 15' HIGH; 15' FOR BUILDINGS 15'-18' HIGH; 20' FOR BUILDING OVER 18' HIGH. SIDE SETBACK (INTERIOR): 5' FOR FIRST STORY AND TOTAL OF 13' FOR BOTH SIDES. REAR SETBACK: 15' FOR FIRST STORY</div> <div><b>ALLOWABLE FLOOR AREA RATIO:</b> FLOOR AREA RATIO: 25% MAX. 5,636 X 55% = 1,409 SQ FT</div> <div><b>EXISTING FLOOR AREA:</b> (E) HOUSE: 720 SQ FT (E) GARAGE: 430 SQ FT GARAGE EXEMPTION: -400 SQ FT TOTAL= 750 SQ FT OR 13%</div> <div><b>PROPOSED FLOOR AREA:</b> (N) HOUSE: 1,408 SQ FT (N) ADU: 692 SQ FT ADU EXEMPTION: -692 SQ FT (N) CARPORT: 170 SQ FT GARAGE EXEMPTION: -170 SQ FT TOTAL= 1,408 SQ FT OR 25% (&lt; 1,409 SQ FT OK)</div> <div><b>BUILDING HEIGHT:</b> MAX. BUILDING HEIGHT: ONE-STORY BUILDINGS: MAX. 15 FT TO PLATE AND 20 FT TO PEAK (E) HOUSE BLDG. HEIGHT: 17 FT-5 IN (N) HOUSE BLDG. HEIGHT: 18 FT-0 IN (N) ADU BLDG. HEIGHT: 16 FT-5 IN</div> <div><b>OFF-STREET PARKING SPACES:</b> REQUIRED PARKING SPACE: PRIMARY RESIDENCE: TWO SPACES, CONSISTING OF ONE COVERED SPACE AND ONE SCREENED SPACE ADU: ONE SCREENED SPACE AS PROVIDED PROVIDED PARKING SPACE: ONE (1) COVERED TANDEM SPACE UNDER CARPORT AND TWO (2) UNCOVERED-SCREENED TANDEM PARKING SPACES</div>		<div><b>GENERAL</b> G-000 COVER SHEET G-001 PHOTOS OF EXISTING HOUSE AND GARAGE G-002 CONTEXT MAP G-003 MATERIAL BOARD G-004 3D RENDERINGS</div> <div><b>SURVEYOR</b> 1 SITE TOPOGRAPHY</div> <div><b>CIVIL</b> C1.0 PROJECT INFORMATION C2.0 PRELIMINARY GRADING AND DRAINAGE PLAN</div> <div><b>ARCHITECTURAL</b> A-101 SITE PLAN - EXISTING &amp; PROPOSED A-102 FLOOR PLAN - EXISTING TO DEMOLISH A-103 ROOF PLAN - EXISTING TO DEMOLISH A-104 FLOOR PLAN - PROPOSED A-105 ROOF PLAN - PROPOSED  A-201 BUILDING ELEVATIONS - EXISTING TO DEMOLISH A-202 BUILDING ELEVATIONS - PROPOSED A-203 BUILDING ELEVATIONS - PROPOSED  A-601 OPENING SCHEDULES</div> <div><b>LANDSCAPING</b> L-100 SITE PLAN - EXISTING &amp; PROPOSED L-101 PLANTING PLAN L-102 IRRIGATION PLAN L-103 HYDROZONE PLAN &amp; WELO CALCULATIONS</div>																																														
					<div><div><div><div><div>LICENSED ARCHITECT NO. C013555 REN. 01/22/24 MICHAEL R. GUTHRIE OF CALIFORNIA</div><div></div></div></div><div>MILLER RESIDENCE  6651 JEFFERSON STREET YOUNTVILLE, CALIFORNIA 94599</div><div>OWNER  KEN AND CAROL MILLER 6651 Jefferson Street Yountville, California 94599</div></div></div>																																														
					<table><tr><td>12.08.23</td><td>DESIGN REVIEW</td></tr><tr><td>01.12.24</td><td>DESIGN REVIEW RESUBMITTAL</td></tr><tr><td>02.22.24</td><td>DESIGN REVIEW RESUBMITTAL</td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td>MARK</td><td>DATE</td><td>DESCRIPTION</td></tr><tr><td colspan="3">PROJECT NO: 2309</td></tr><tr><td colspan="3">CAD DWG FILE: 2309-G-000 COVER SHEET.DWG</td></tr><tr><td colspan="3">DRAWN BY: -</td></tr><tr><td colspan="3">CHK'D BY: -</td></tr><tr><td colspan="3">COPYRIGHT:</td></tr><tr><td colspan="3">SHEET TITLE</td></tr><tr><td colspan="3">COVER SHEET</td></tr><tr><td colspan="3">G-000</td></tr><tr><td>SHEET</td><td>-</td><td>OF -</td></tr></table>					12.08.23	DESIGN REVIEW	01.12.24	DESIGN REVIEW RESUBMITTAL	02.22.24	DESIGN REVIEW RESUBMITTAL							MARK	DATE	DESCRIPTION	PROJECT NO: 2309			CAD DWG FILE: 2309-G-000 COVER SHEET.DWG			DRAWN BY: -			CHK'D BY: -			COPYRIGHT:			SHEET TITLE			COVER SHEET			G-000			SHEET	-	OF -
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PROJECT DESCRIPTION:

DEMOLISH AN EXISTING ONE-STORY SINGLE FAMILY HOUSE  
REBUILT A NEW ONE-STORY SINGLE FAMILY HOUSE AND AN ATTACHED ACCESSORY DWELLING UNIT (ADU)

THE DESIGN OF THE PROPOSED HOUSE AND ADU IS INTENDED TO HONOR THE HISTORICAL DISTRICT'S CHARACTER, CONTRIBUTING TO THE SURROUNDING NEIGHBORHOOD'S CHARM, WHILE ALSO MEETING THE REQUIREMENTS OF A MODERN FAMILY HOME.

RESIDENTIAL DATA INFORMATION:

SITE ADDRESS: 6651 JEFFERSON STREET  
YOUNTVILLE, CALIFORNIA 94599

APN : 036-035-004

ZONING CLASSIFICATION: H - OLD TOWN HISTORIC

LOT SIZE (SQ FT): 5,636± (0.13± ACRES)

OCCUPANCY: R-3

CONSTRUCTION TYPE: V-B

STORIES: ONE

FIRE SUPPRESSION: AUTOMATIC SPRINKLERS THROUGHOUT (N) HOUSE AND (N) ADU

FLOOD ZONE: FEMA ZONE X

FRONT SETBACK: PRIMARY BUILDINGS: 10' FOR BUILDINGS UP TO 15' HIGH; 15' FOR BUILDINGS 15'-18' HIGH; 20' FOR BUILDING OVER 18' HIGH.

SIDE SETBACK (INTERIOR): 5' FOR FIRST STORY AND TOTAL OF 13' FOR BOTH SIDES.

REAR SETBACK: 15' FOR FIRST STORY

ALLOWABLE FLOOR AREA RATIO:

FLOOR AREA RATIO: 25% MAX.  
5,636 X 55% = 1,409 SQ FT

EXISTING FLOOR AREA:

(E) HOUSE: 720 SQ FT  
(E) GARAGE: 430 SQ FT  
GARAGE EXEMPTION: -400 SQ FT  
TOTAL= 750 SQ FT OR 13%

PROPOSED FLOOR AREA:

(N) HOUSE: 1,408 SQ FT  
(N) ADU: 692 SQ FT  
ADU EXEMPTION: -692 SQ FT  
(N) CARPORT: 170 SQ FT  
GARAGE EXEMPTION: -170 SQ FT  
TOTAL= 1,408 SQ FT OR 25% (< 1,409 SQ FT OK)

BUILDING HEIGHT:

MAX. BUILDING HEIGHT: ONE-STORY BUILDINGS: MAX. 15 FT TO PLATE AND 20 FT TO PEAK  
(E) HOUSE BLDG. HEIGHT: 17 FT-5 IN  
(N) HOUSE BLDG. HEIGHT: 18 FT-0 IN  
(N) ADU BLDG. HEIGHT: 16 FT-5 IN

OFF-STREET PARKING SPACES:

REQUIRED PARKING SPACE: PRIMARY RESIDENCE: TWO SPACES, CONSISTING OF ONE COVERED SPACE AND ONE SCREENED SPACE  
ADU: ONE SCREENED SPACE AS PROVIDED  
PROVIDED PARKING SPACE: ONE (1) COVERED TANDEM SPACE UNDER CARPORT AND TWO (2) UNCOVERED-SCREENED TANDEM PARKING SPACES

VICINITY MAP

OWNER:

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PROJECT DIRECTORY

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E: KYLIEDUREKAS@GMAIL.COM

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
TOWN OF YOUNTVILLE MUNICIPAL CODE

NOTES:  
1. THESE DRAWINGS ARE TO CONFORM TO THE REQUIREMENTS OF THE CODE EDITIONS CITED ABOVE. ANY WORK PERFORMED IN ASSOCIATION WITH THESE DRAWINGS MUST ALSO COMPLY WITH ANY THESE CODE EDITIONS.  
2. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

DEFERRED SUBMITTALS

REFERRED SUBMITTALS ARE THOSE PORTIONS OF THE DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE BUILDING PERMIT APPLICATION AND ARE TO BE SUBMITTED TO THE BUILDING OFFICIAL WITHIN A SPECIFIED PERIOD OF TIME AS DESIGNATE BY THE BUILDING OFFICIAL AND THE PAGE NOTES.  
  
SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD WHO SHALL REVIEW AND THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY THEY HAVE BEEN FOUND TO BE GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE MANUFACTURED AND/OR INSTALLED UNTIL THEIR DESIGN HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.  
  
THE FOLLOWING DEFERRED SUBMITTAL DRAWINGS WILL BE REQUIRED:

SEPARATE PERMITS

FIRE SPRINKLERS

SYMBOL LEGEND

±0"

PLAN ELEVATION/CONTROL POINT

CEILING FIN., SEE FIN. SPECS

REFLECTED CEILING PLAN KEY

CEILING HEIGHT ABOVE FIN. FLR.

±0"

FLOOR ELEVATION OR DIMENSION POINT

ELEVATION/SECTION NUMBER

SHEET NUMBER

INTERIOR ELEVATION

1

REVISION NUMBER

ENLARGED DETAIL NUMBER

SHEET NUMBER

2

WINDOW SYMBOL

GRID LINE

3

DOOR SYMBOL

A

WALL CONSTRUCTION TYPE

12.08.23

DESIGN REVIEW

01.12.24

DESIGN REVIEW RESUBMITTAL

02.22.24

DESIGN REVIEW RESUBMITTAL

MARK

DATE

DESCRIPTION

PROJECT NO:

2309

CAD DWG FILE:

2308-0-000 COVER SHEET.DWG

DRAWN BY:

-

CHK'D BY:

-

COPYRIGHT:

SHEET TITLE

COVER SHEET

G-000

SHEET

-

OF

-





STREET VIEW



EXISTING HOUSE - FRONT



EXISTING HOUSE - LEFT



EXISTING HOUSE - REAR



EXISTING HOUSE - RIGHT



EXISTING DETACHED GARAGE - FRONT



EXISTING DETACHED GARAGE - RIGHT



EXISTING DETACHED GARAGE - REAR



12.08.23	DESIGN REVIEW	
01.12.24	DESIGN REVIEW RESUBMITTAL	
02.22.24	DESIGN REVIEW RESUBMITTAL	
MARK	DATE	DESCRIPTION

PROJECT NO: 2309	
CAD DWG FILE:	2309-G-001 PHOTOS OF EXISTING HOUSE AND GARAGE.DWG
DRAWN BY:	-
CHK'D BY:	-
COPYRIGHT:	





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MICHAEL GUTHRIE  
+ CO. ARCHITECTS  
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Suite 110  
San Francisco  
California 94107  
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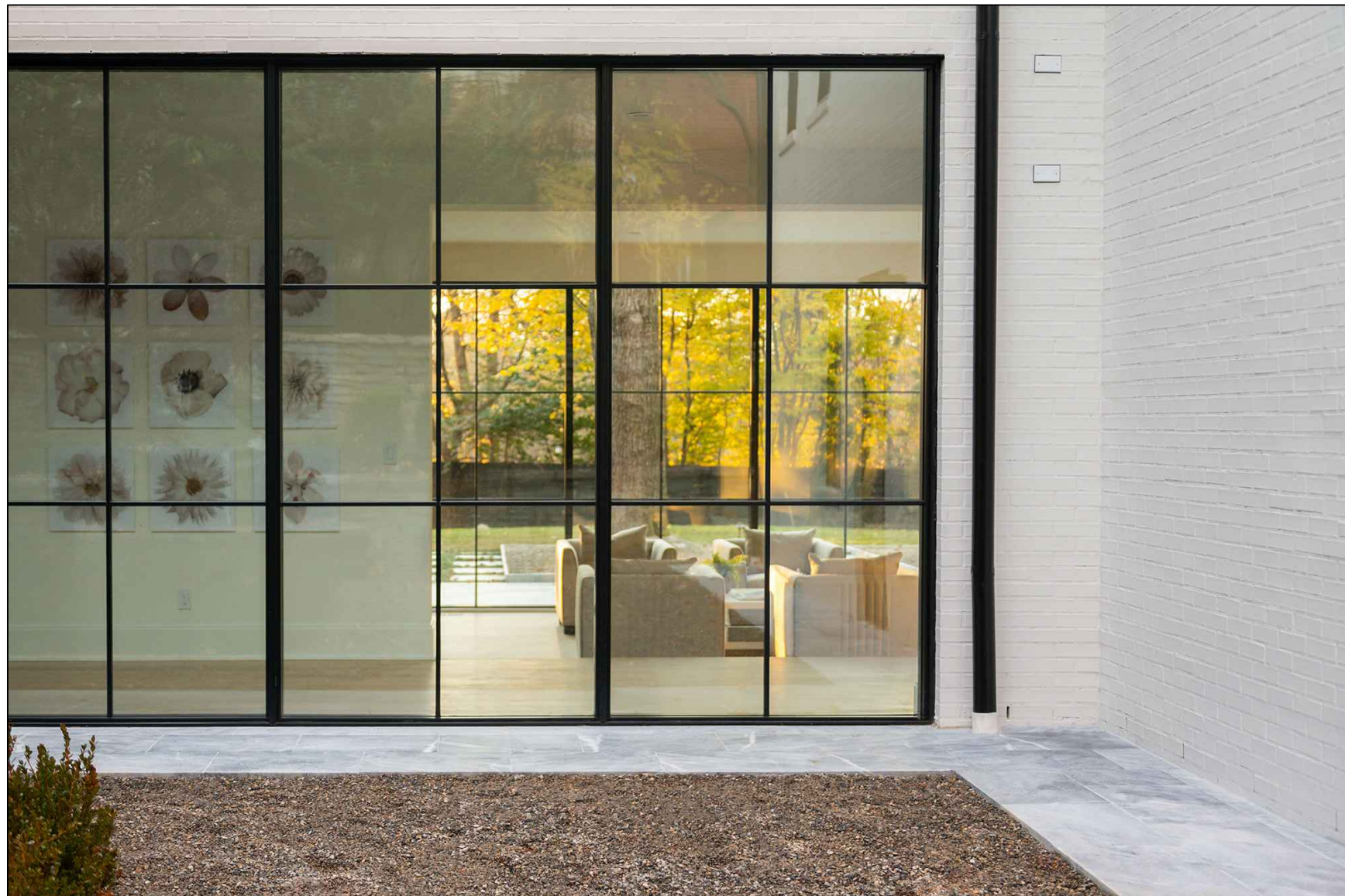
MILLER RESIDENCE  
6651 JEFFERSON STREET  
YOUNTVILLE, CALIFORNIA 94599  
OWNER KEN AND CAROL MILLER  
6651 Jefferson Street  
Yountville, California 94599

	12/08/23	DESIGN REVIEW SUBMITTAL
	01/12/24	DESIGN REVIEW RESUBMITTAL
	02/22/24	DESIGN REVIEW RESUBMITTAL
MARK	DATE	DESCRIPTION
PROJECT NO:	2309	
CAD DWG FILE:	0000.00.00 2 FLOOR PLANING	
DRAWN BY:	LALO CALDERON	
CHK'D BY:	MICHAEL GUTHRIE	
COPYRIGHT:		

SHEET TITLE  
CONTEXT MAP

G-002  
SHEET OF





SIERRA PACIFIC POCKET DOOR, BLACK



STANDING SEAM METAL ROOF, GRAY



WALL SCONCE



SIERRA PACIFIC WINDOW, BLACK



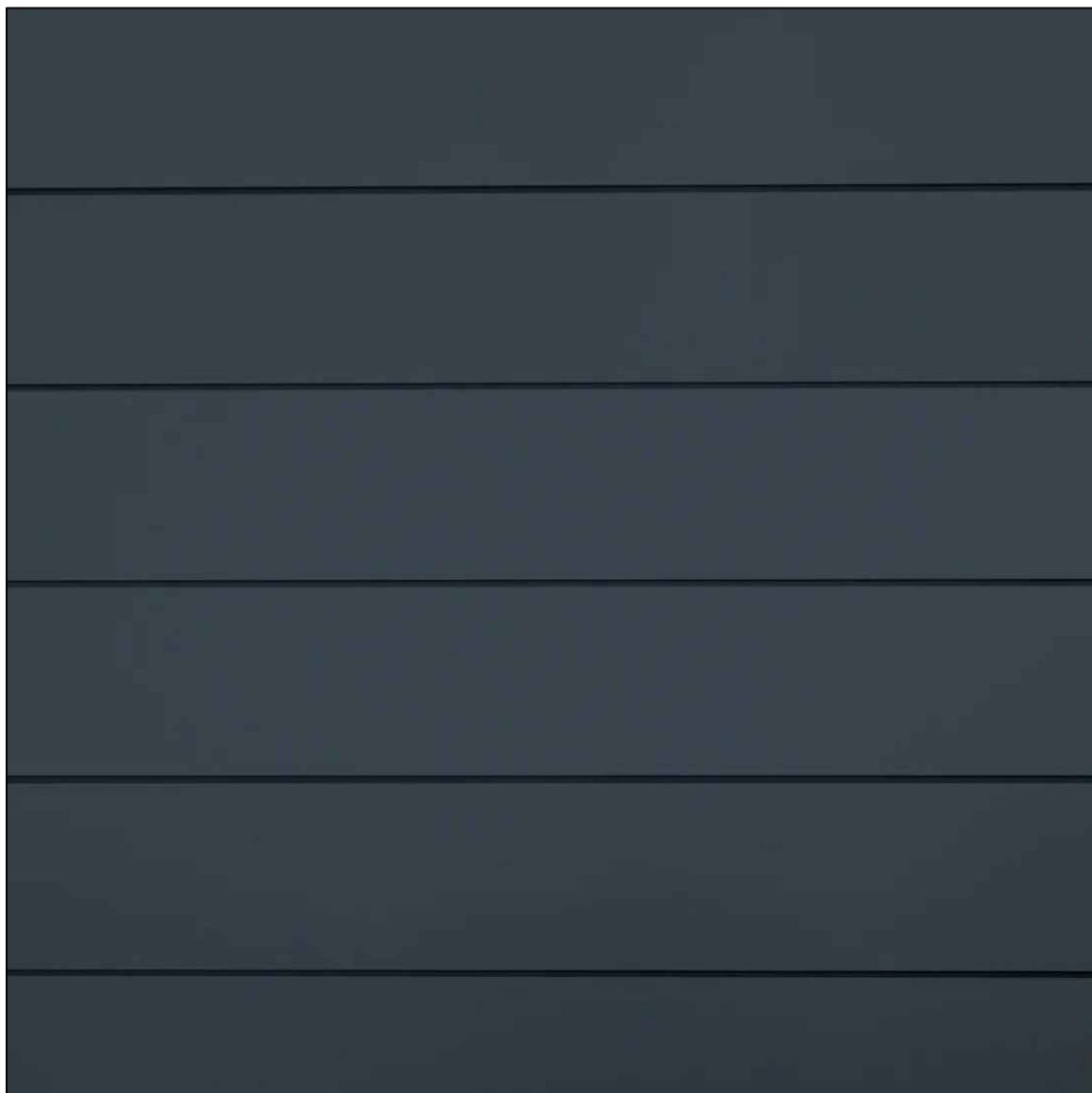
6" HALF-ROUND GUTTER, PAINTED BLACK



VELUX DECK-MOUNT VENTED SKYLIGHT



NEW NATURAL STONE VENEER



FIBER CEMENT HORIZONTAL SHIPLAP SIDING, PAINTED DARK GRAY



RE-SAWN WOOD POST AND BEAM, STAINED

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02.22.24	DESIGN REVIEW RESUBMITTAL
MARK	DATE DESCRIPTION
PROJECT NO: 2309	
CAD DWG FILE: 2309-G-003 MATERIAL BOARD.DWG	
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SHEET TITLE  
MATERIAL BOARD



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PERSPECTIVE VIEW OF CARPORT AND ADU



PERSPECTIVE VIEW OF BUILDING FACADE (SHOWING WITHOUT  
TREE)



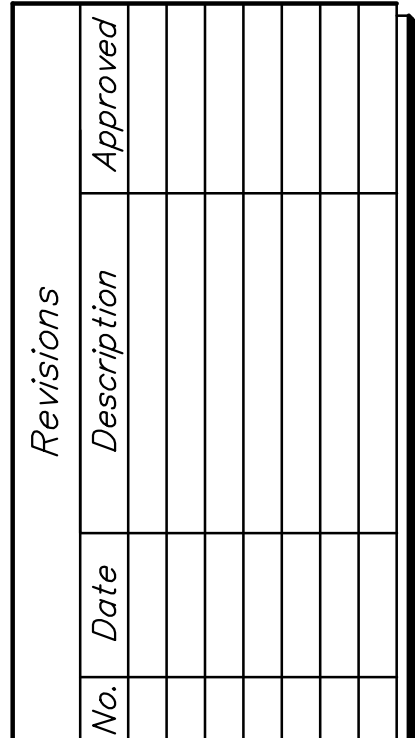
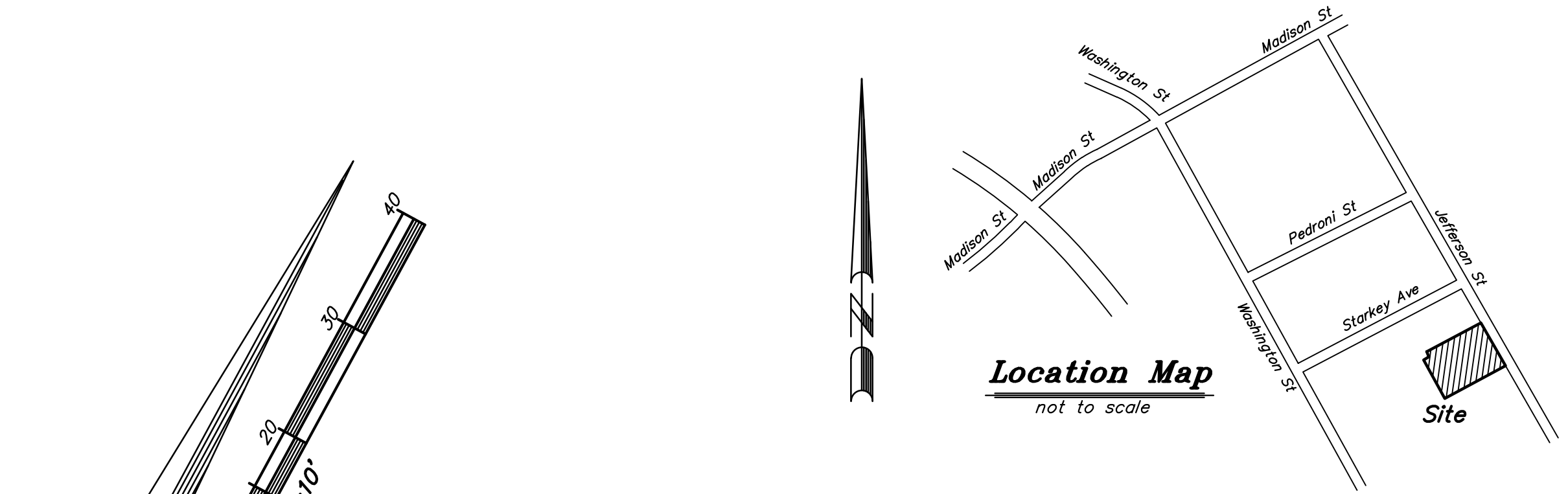
PERSPECTIVE VIEW OF BUILDING FACADE

12.08.23	DESIGN REVIEW	
01.12.24	DESIGN REVIEW RESUBMITTAL	
02.22.24	DESIGN REVIEW RESUBMITTAL	
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SHEET TITLE

3D RENDERINGS





Sheet  
1  
of 1 sheet  
Job No. 23168



PROJECT INFORMATION

PROJECT ADDRESS: 6651 JEFFERSON STREET, YOUNTVILLE, CA 94599

OWNER/DEVELOPER: KEN MILLER  
2349 EATON AVENUE,  
YOUNTVILLE, CA 94070

CIVIL ENGINEER: ANDREW S. WILLIS, P.E.  
BC ENGINEERING GROUP, INC.  
2800 CLEVELAND AVE, SUITE B  
SANTA ROSA, CA 95403  
(707) 542-4321

SURVEYOR: ADOBE ASSOCIATES, INC.  
1220 NORTH DUTTON AVENUE  
SANTA ROSA, CA 95401  
(707) 541-2301

AREA: 0.13 ACRES

EARTHWORK SUMMARY

CUT = 20 CY  
FILL = 25 CY  
NET = 5 CY FILL

DISTURBED AREA = 0.08 ACRES      WDID # NA  
NEW IMPERVIOUS AREA = 2094 SF

EXACT SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES AREA BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND AND PROPOSED FINISH GROUND AND COULD VARY ACCORDING TO THESE FACTORS. CONTRACTOR SHALL CONFIRM EXISTING TOPOGRAPHY, SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORT(S), AND SHALL PERFORM AN INDEPENDENT QUANTITY TAKEOFF AND BID ACCORDINGLY.

SHEET INDEX

C1.0 PROJECT INFORMATION  
C2.0 PRELIMINARY GRADING AND DRAINAGE PLAN

PURPOSE STATEMENT

THE PURPOSE OF THIS PROJECT IS TO PROVIDE PRELIMINARY GRADING AND DRAINAGE IMPROVEMENTS FOR A NEW RESIDENCE AND ADU.

SURVEY NOTE

DESCRIPTION OF BENCHMARK: SET "MAG" NAIL AND WASHER  
ELEVATION: 300.0' THIS IS ON AN ASSUMED DATUM  
CONTOUR INTERVAL = 2 FOOT

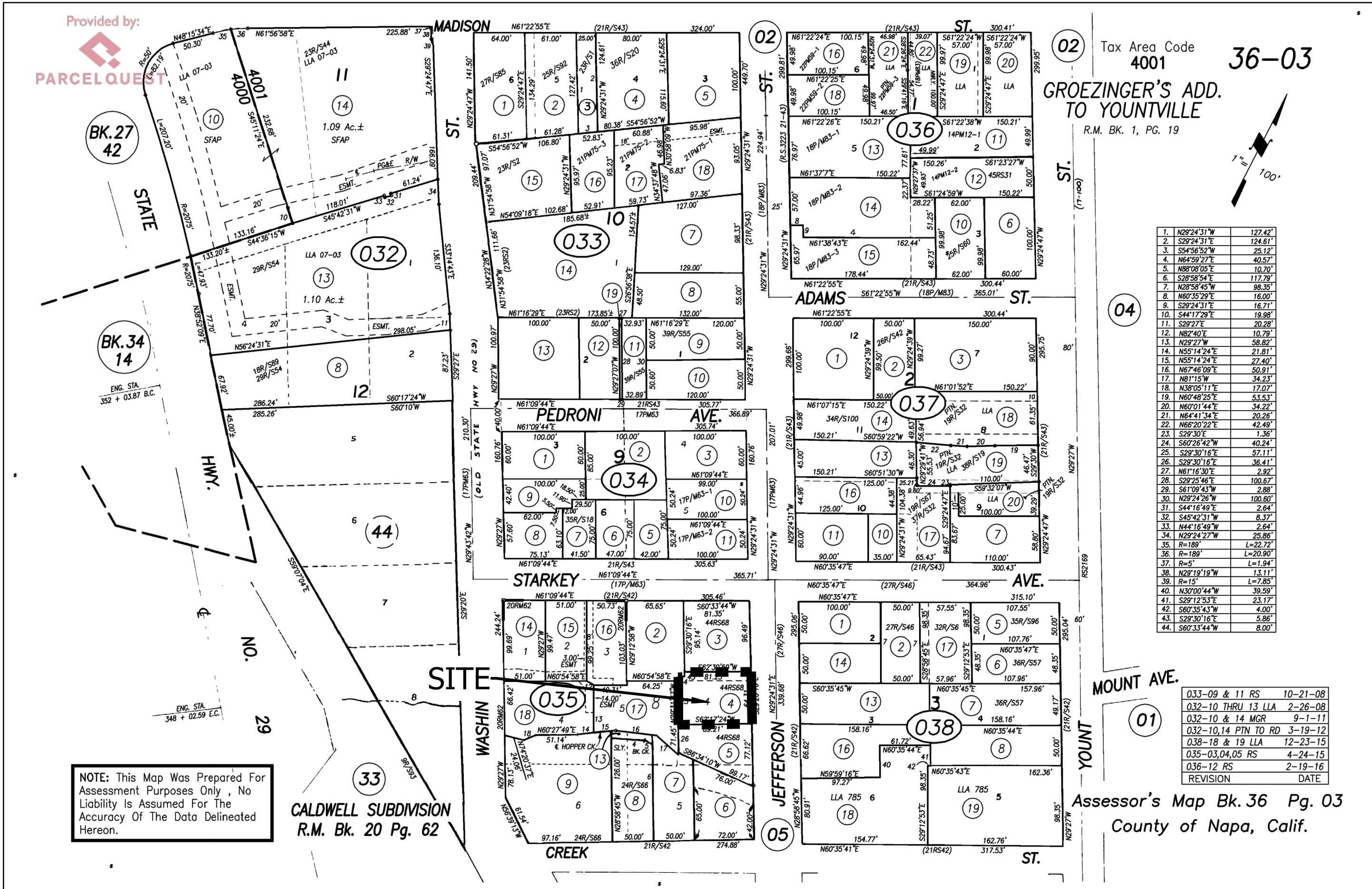
LEGEND

AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
BSL	BUILDING SETBACK LINE
BW	BOTTOM OF WALL AT GRADE
DI	DROP INLET
DS	DOWNSPOUT
EG	EXISTING GROUND
EP	EDGE OF PAVEMENT
EX	EXISTING
FD	FLOOR DRAIN
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
GB	GRADE BREAK
GR	GRATE
GSL	GARAGE SETBACK LINE
HP	HIGH POINT
IG	INVERT GRADE
LF	LINEAR FEET
ME	MATCH EXISTING
PUE	PUBLIC UTILITY EASEMENT
TW	TOP OF WALL
TYP	TYPICAL
SAD	SEE ARCHITECTURAL DRAWINGS
SD	STORM DRAIN
SO	SIDE OPENING
SWE	SIDEWALK EASEMENT
COMM	COMMUNICATIONS
FLOW LINE EXISTING	
FLOW LINE PROPOSED	
GRADE BREAK	
PG&E UTILITY SERVICE	
PROPERTY LINE	
RAIN LEADERS	
SANITARY SEWER	
STRAW WATTLE	
SUBDRAIN PIPE	
WATER PIPE	
HARDSCAPING (SAD)	

GRADING AND DRAINAGE DRAWINGS FOR  
LANDS OF MILLER  
6651 JEFFERSON STREET, YOUNTVILLE, CA 94599  
APN: 036-035-004



VICINITY MAP  
NTS



ASSESSORS PARCEL MAP  
NTS

PLOT PLAN NOTES

- CONSTRUCTION TO COMPLY WITH ANY NOTES OR RESTRICTIONS SHOWN ON THE FINAL MAP, SUBDIVISION IMPROVEMENT PLANS, ZONING ORDINANCES, SOILS REPORT, OR OTHER APPLICABLE ITEMS.
- SEE ARCHITECT'S FLOOR PLAN FOR ALL BUILDING DIMENSIONS.
- LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. VERIFY ALL UTILITY CONNECTION POINTS WITH PLUMBING PLANS. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES WITH APPROPRIATE AGENCIES PRIOR TO STARTING WORK. THE ENGINEER OF RECORD SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY INCLUDING PUBLIC EASEMENTS, REQUIRES AN ENCROACHMENT PERMIT FROM THE ENGINEERING DEPARTMENT.
- NO STRUCTURE MAY ENCROACH ON ANY PUBLIC WATER OR SEWER EASEMENT ABOVE OR BELOW THE SURFACE OF THE GROUND. THIS INCLUDES FOOTINGS OF FOUNDATIONS OR EAVES FROM THE ROOF OF ANY ADJACENT STRUCTURES.
- SLOPE GRADE 5% PER FOOT FOR 10'-0" MINIMUM AWAY FROM BUILDING.
- EXCESS EARTH TO BE REMOVED TO A SITE APPROVED BY THE TOWN OF YOUNTVILLE FIRE DEPARTMENT AND BUILDING DIVISION.
- CONTRACTOR SHALL PROVIDE EROSION PREVENTION AND SEDIMENT CONTROL DURING CONSTRUCTION PER CITY APPROVED BEST MANAGEMENT PRACTICES. AT A MINIMUM, ALL DISTURBED AREAS SHALL BE HYDROSEEDDED WITH LEBALLISTER'S QUICK COVER CROP SEED MIX AT A RATE OF 80 LBS/AC PRIOR TO OCTOBER 15. DISTURBED AREAS TO BE LANDSCAPED MAY BE STABILIZED BY APPLYING STRAW MULCH AT A RATE OF 2 TONS/AC.
- PUBLIC UTILITY EASEMENTS MAY CONTAIN ELECTRICAL TRANSFORMERS, OTHER UTILITY VAULTS, MAIL BOXES, LIGHT POLES, STREET SIGNS, FIRE HYDRANTS, AND/OR OTHER ITEMS REQUIRED BY THE GOVERNING AGENCIES. THE BUYER(S) SHOULD INSPECT THE SPECIFIC LOT THE BUYER(S) WISH TO PURCHASE TO DETERMINE WHAT IS CONTAINED WITHIN THE PUBLIC EASEMENT.
- ALL ONSITE SWALES SHALL BE PERMANENTLY MAINTAINED BY THE HOMEOWNER SUCH THAT THEY FUNCTION PROPERLY AND NO LOT TO LOT DRAINAGE OCCURS.
- IT IS TO BE UNDERSTOOD THAT THE DRAINAGE AREAS, SLOPES AND GRADES SHALL NOT BE ALTERED, CHANGED, BLOCKED, MODIFIED OR IN ANY WAY RECONSTRUCTED BY OWNER CONTRARY TO WHAT IS DEPICTED ON THIS PLOT PLAN, UNLESS DESIGNATED BY AN ENGINEER AND APPROVED BY THE TOWN OF YOUNTVILLE.
- A GRADING AND DRAINAGE VERIFICATION LETTER SHALL BE PROVIDED TO THE BUILDING DIVISION INSPECTOR BY THE LICENSED ENGINEER OF RECORD FOR THIS LOT. THIS LETTER SHALL VERIFY THAT GRADING AND DRAINAGE HAS BEEN COMPLETED PER APPROVED PLOT PLAN, WITH THE EXCEPTIONS NOTED IN "AS-BUILT" CONFIGURATION, AND IN AGREEMENT WITH THE CALIFORNIA BUILDING CODE.
- PROVIDE POSITIVE DRAINAGE FROM THE UNDER FLOOR AREA TO PREVENT THE PONDING OF WATER. FOUNDATION DRAIN LINES TO BE PROVIDED WHERE NECESSARY TO DRAIN WATER AWAY FROM FOUNDATION AND UNDER FLOOR AREAS.
- RAINWATER LEADERS SHALL BE CONNECTED, USING 4" RIGID PVC STORM DRAIN PIPING.

GENERAL NOTES

- EXISTING ROADWAYS, CULVERTS, GAS LINES, FENCE LINES, AND POWER POLE LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
- THE DESIGN PROFESSIONAL WHO PREPARED THIS DRAWING IS NOT RESPONSIBLE FOR THE MISUSE OF, OR UNAUTHORIZED CHANGES MADE TO THIS DRAWING. OBTAIN WRITTEN PERMISSION FROM THE DESIGN PROFESSIONAL WHO PREPARED THIS DRAWING AND THE COUNTY OF NAPA PRIOR TO INSTALLING IMPROVEMENTS IN A MANNER WHICH DEVIATE FROM THIS DRAWING.
- OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY THE TOWN OF YOUNTVILLE PRIOR TO COMMENCEMENT OF WORK. PERFORM WORK IN ACCORDANCE WITH THE COUNTY OF NAPA DESIGN AND CONSTRUCTION STANDARDS, AND LOCAL MUNICIPAL POLICIES UNLESS INDICATED OTHERWISE.
- THE PROFESSIONAL PREPARING THIS DRAWING AND THE OWNER ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF INFORMATION. EXPOSE EXISTING UTILITIES PRIOR TO TRENCHING TO VERIFY THEIR RESPECTIVE ALIGNMENT AND ELEVATION. IF THE EXPOSED UTILITY IS DETERMINED TO BE IN A LOCATION WHICH IS NOT REFLECTED BY THIS DRAWING, NOTIFY THE ENGINEER IN WRITING SO THAT APPROPRIATE ADJUSTMENTS CAN BE MADE. THE PROPOSED UTILITIES MAY REQUIRE RE-ALIGNMENT TO ACCOMMODATE THE FIELD CONDITION.
- VERIFY STRUCTURAL SECTIONS WITH STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. SLOPE GARAGE SLAB PER ARCHITECTURAL PLANS. VERIFY GARAGE SETBACKS WITH ARCHITECT, TOWN, AND/OR STATE, WHICH MAY BE MORE RESTRICTIVE THAN BUILDING SETBACK LINES.
- PROVIDE FOUNDATION DRAINS, BACK OF WALL DRAINS, UNDER SLAB DRAINS, AND ALL OTHER SUBSURFACE DRAINAGE ENTITIES PER GEOTECHNICAL ENGINEERS RECOMMENDATIONS. ALL SUBDRAINS SHALL DISCHARGE SEPARATELY FROM SURFACE STORM DRAIN PIPE NETWORKS. STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS)

DATE					
BY					
DESCRIPTION					
REV.					

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CIVIL ENGINEERING & LAND PLANNING  
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UKIAH OFFICE:  
603 S. State Street, Ukiah CA 95422

LANDS OF MILLER  
PROJECT INFORMATION  
KEN MILLER  
6651 JEFFERSON STREET  
YOUNTVILLE, CA 94599

02/22/2024  
2978-23  
AB  
AS SHOWN  
036-035-004  
Permit #:  
Sheet:  
C1.0  
1 of 2

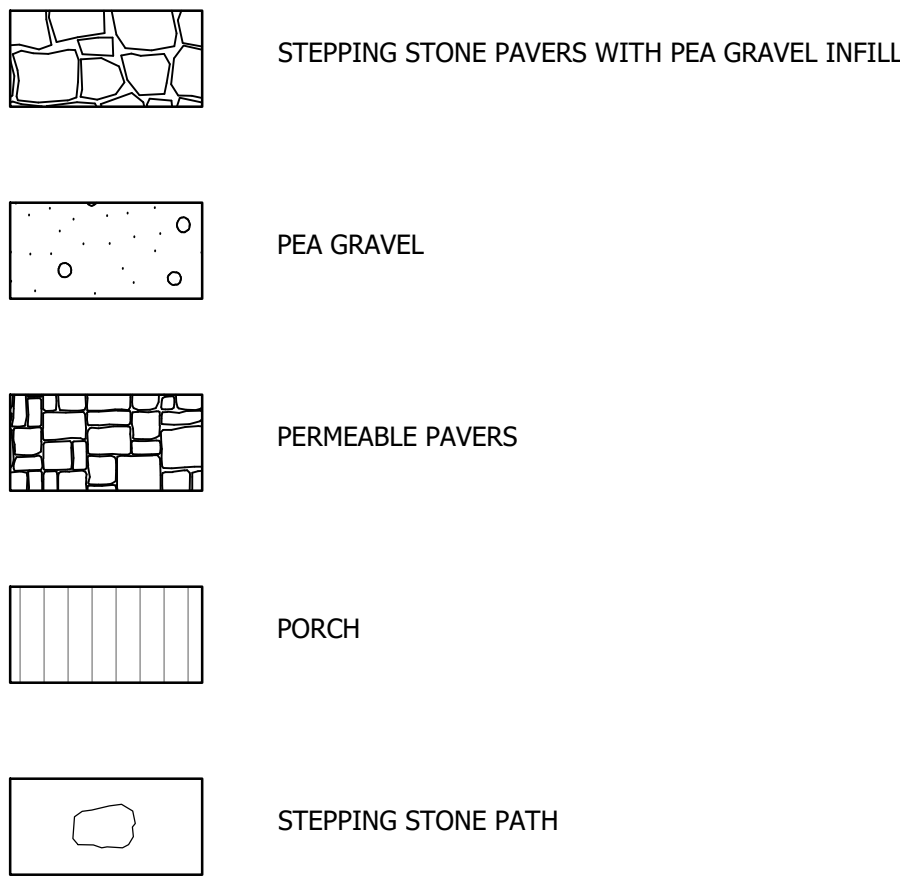
NOT FOR CONSTRUCTION



KEYNOTES:

- 1 VERIFY STRUCTURAL SECTION WITH STRUCTURAL ENGINEER, GEOTECHNICAL ENGINEER, AND ARCHITECT PRIOR TO CONSTRUCTION.
- 2 COORDINATE NEW WATER, ELECTRIC, GAS, AND SEWER LOCATIONS/CONNECTIONS WITH ARCHITECT.
- 3 5% MINIMUM SLOPE AWAY FROM ALL SIDES OF THE BUILDING
- 4 COORDINATE LANDSCAPING/HARDSCAPING WITH OWNER & ARCHITECT
- 5 SEWER LATERAL PER NAPA SANITATION DISTRICT WITH TOWN OF YOUNTVILLE ANNEXED CHANGES STD. DETAIL SS-7
- 6 WATER LATERAL PER CITY OF NAPA WITH TOWN OF YOUNTVILLE ANNEXED CHANGES UTILITIES DEPARTMENT STD. W-1

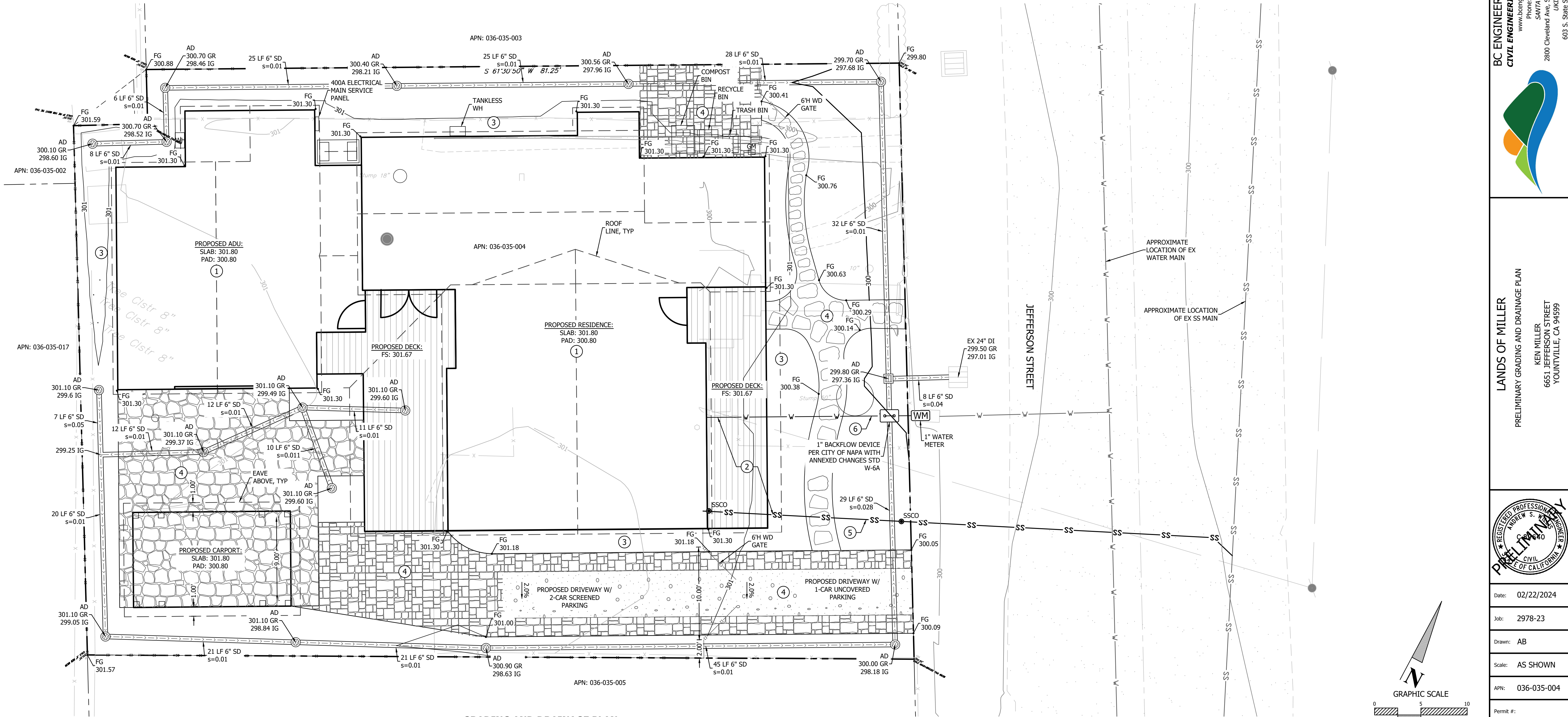
HATCH LEGEND



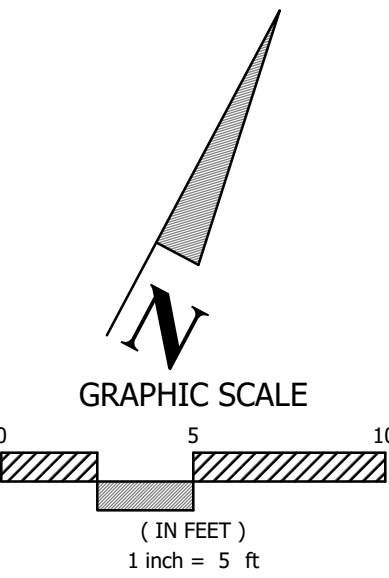
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SURFACE	AREA (SF)	IMPERVIOUS OR PERVIOUS
PORCH	441	PERVIOUS
STEPPING STONE PAVERS	520	PERVIOUS
PEA GRAVEL	397	PERVIOUS
PERMEABLE PAVERS	500	PERVIOUS
PLANTING	1649	PERVIOUS
RESIDENCE AND ADU	2094	IMPERVIOUS

STORM DRAIN SCHEDULE

8" AD	NDS PIPE GRATE MODEL SKU#20 OR EQUIVALENT
IF NO DOWNSPOUT CONNECTIONS ARE ILLUSTRATED WITHIN THIS PLAN SET, ALL DOWNSPOUTS MUST BE CONNECTED TO SOLID PIPES AND ROUTED AWAY FROM ALL FOUNDATIONS	
FOUNDATION SUBDRAINS, UNDERSLAB SUBDRAINS, AND BACK OF WALL SUBDRAINS PER GEOTECH'S RECOMMENDATION	
ALL SUBDRAINS TO OUTLET SEPARATE FROM SURFACE STORM DRAIN NETWORK	
STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS).	



GRADING AND DRAINAGE PLAN  
SCALE: 1"=5'



DATE	
BY	
DESCRIPTION	
REV.	

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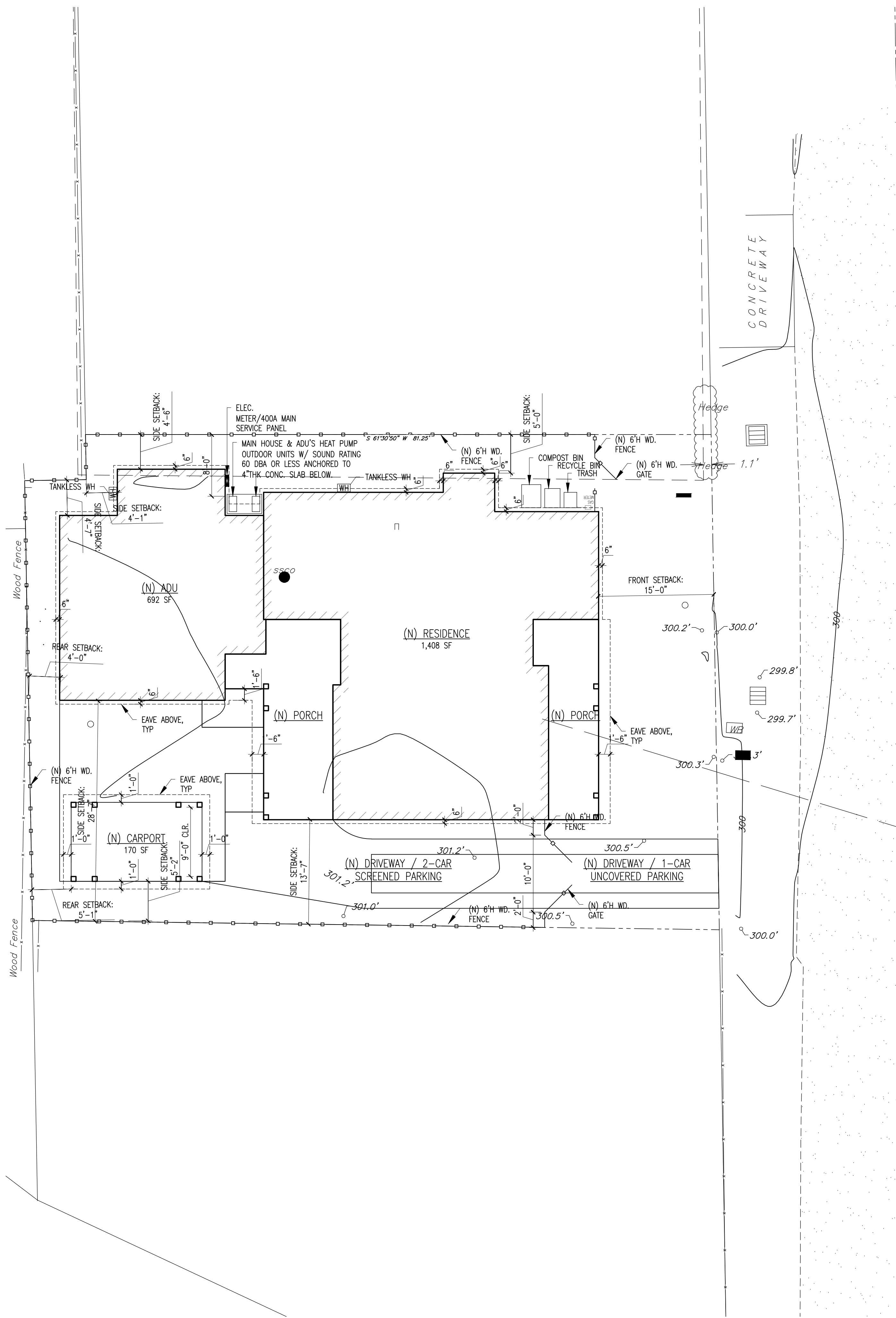
LANDS OF MILLER  
PRELIMINARY GRADING AND DRAINAGE PLAN  
KEN MILLER  
6651 JEFFERSON STREET  
YOUNTVILLE, CA 94599

REGISTERED PROFESSIONAL ENGINEER  
ANDREW S. MILLER  
C 6640  
CIVIL  
STATE OF CALIFORNIA

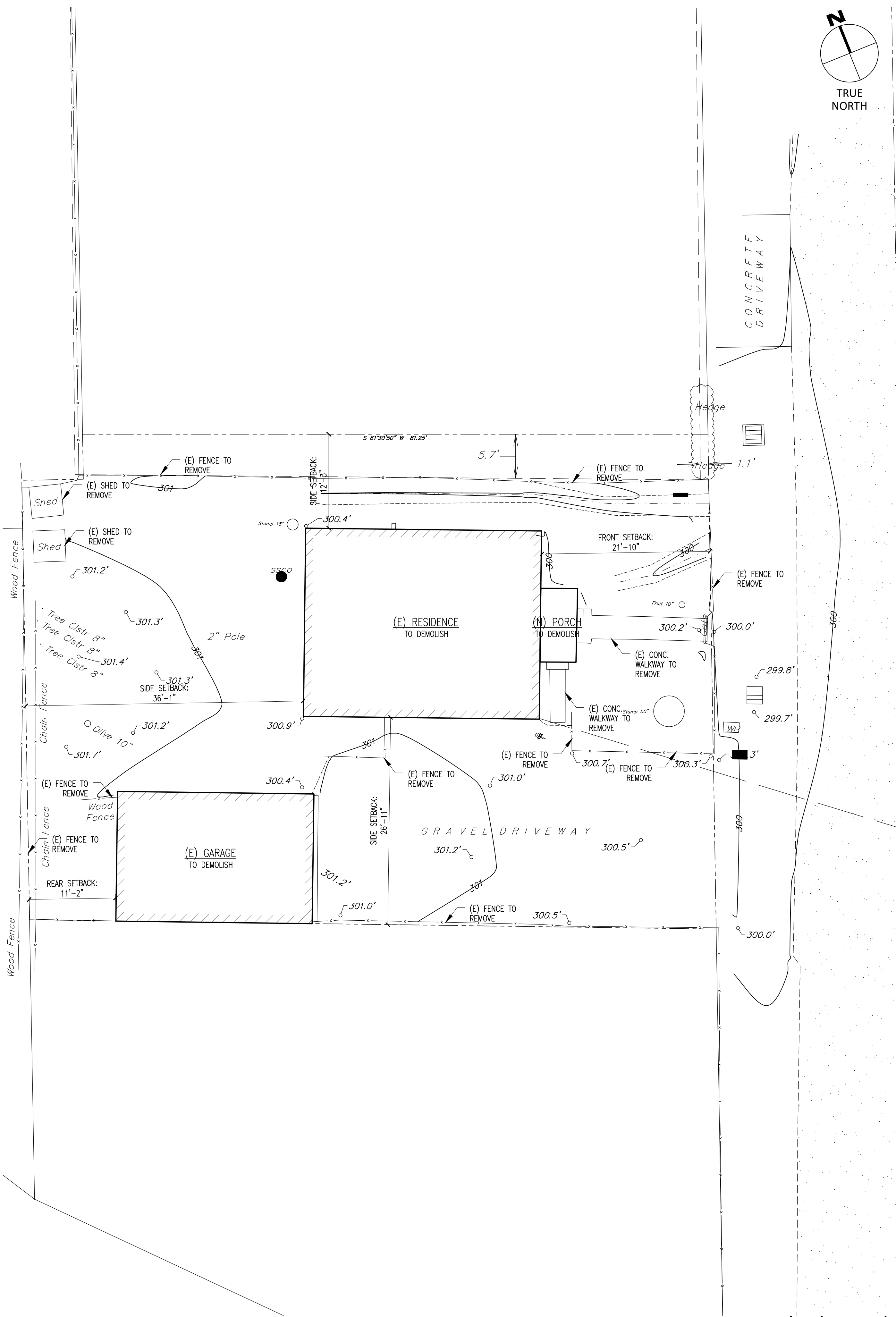
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2 of 2

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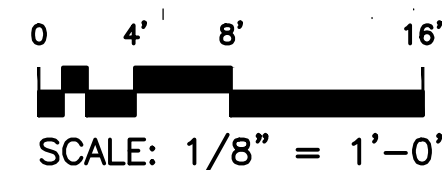
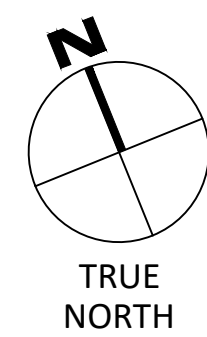




2 SITE PLAN - PROPOSED  
1/8" = 1'-0"



1 SITE PLAN - EXISTING  
1/8" = 1'-0"



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6651 Jefferson Street  
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12.08.23	DESIGN REVIEW
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MARK	DATE DESCRIPTION
PROJECT NO:	2309
CAD DWG FILE:	2309-A-101 SITE PLAN - EXISTING AND PROPOSED.DWG
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SHEET TITLE  
SITE PLAN - EXISTING AND  
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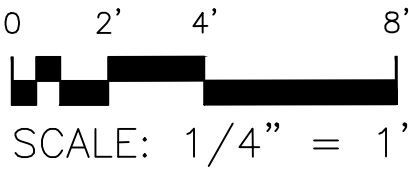
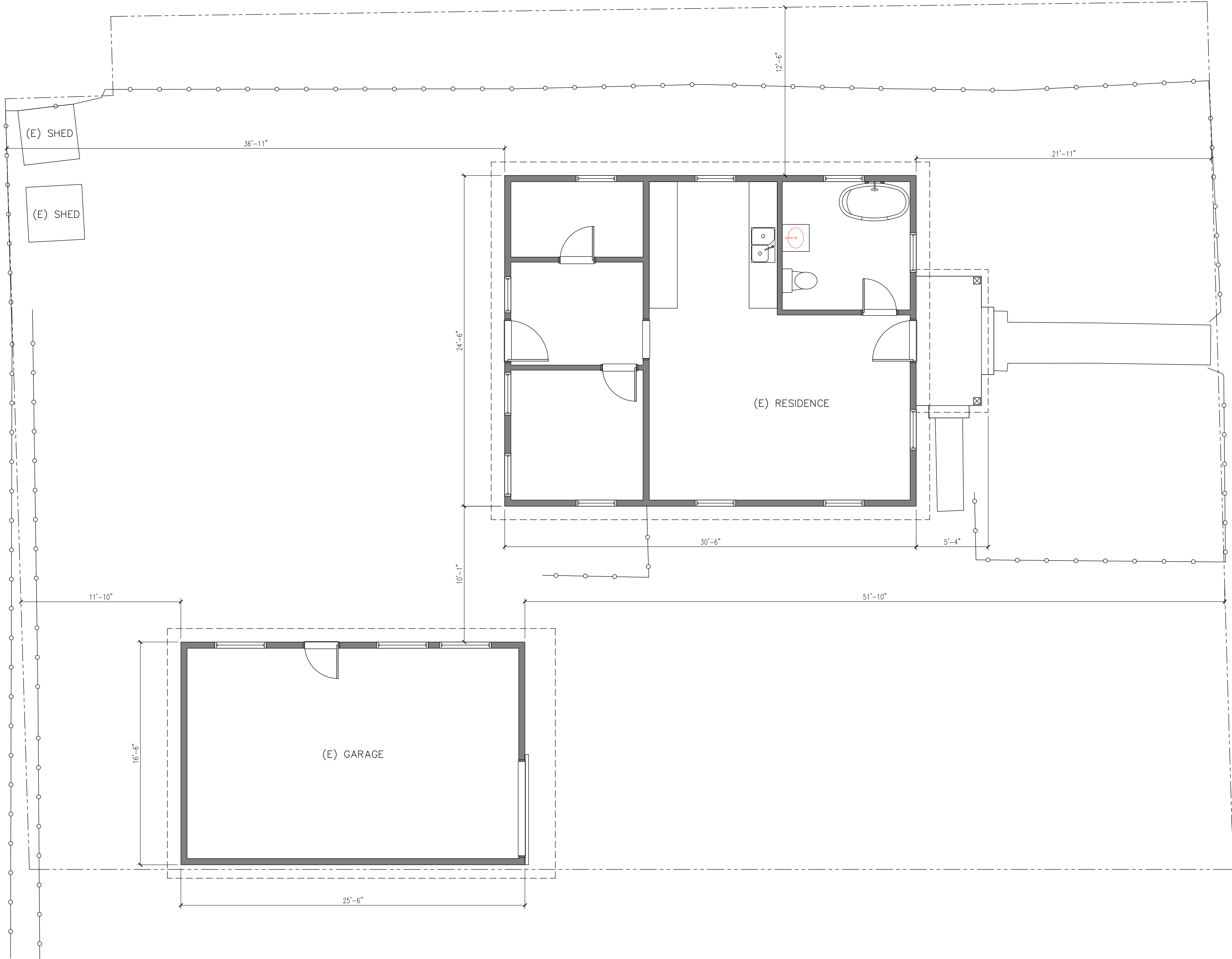
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SHEET TITLE

FLOOR PLAN - EXISTING

A-102

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02.22.24	DESIGN REVIEW RESUBMITTAL

MARK	DATE	DESCRIPTION
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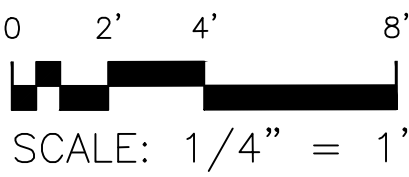
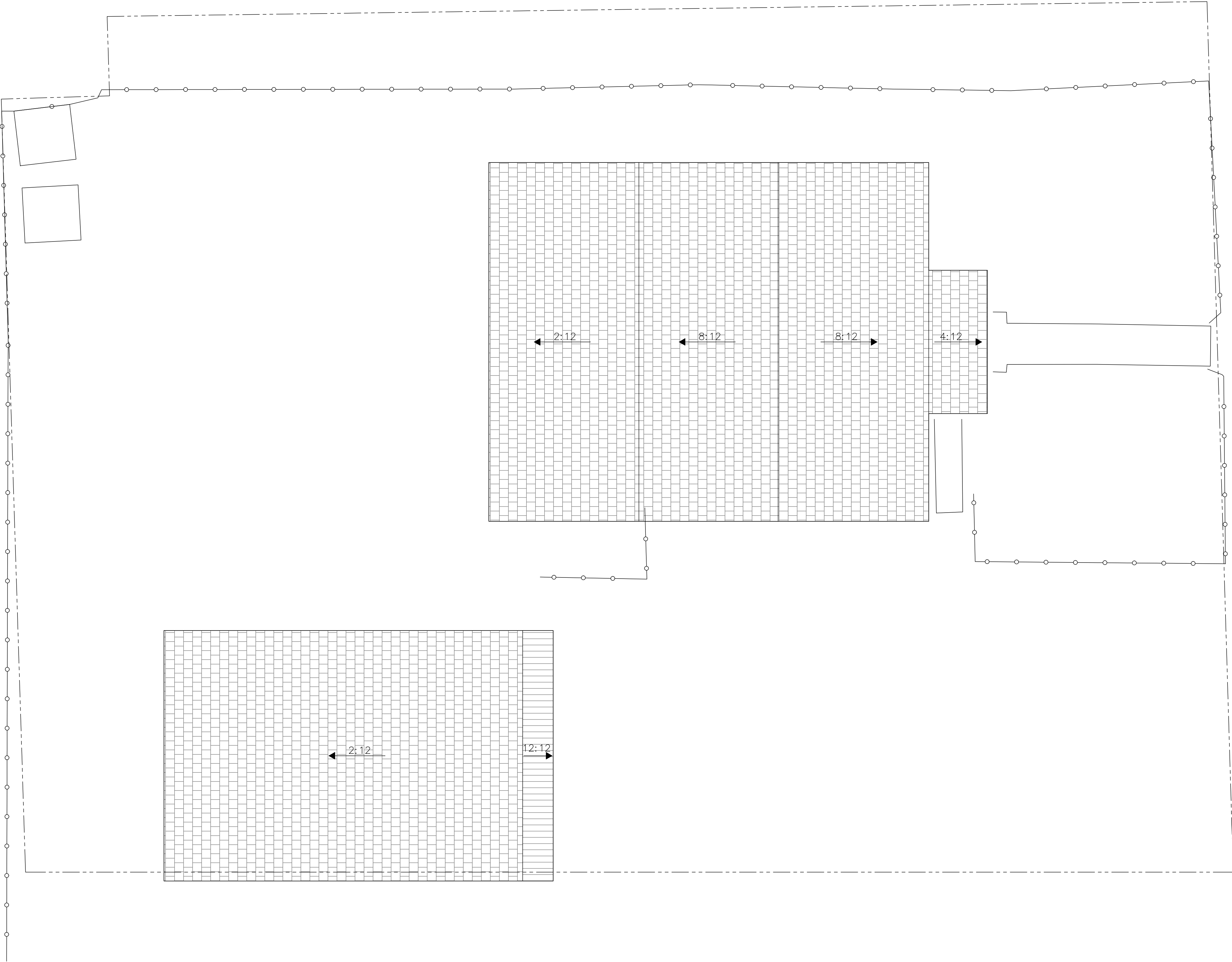
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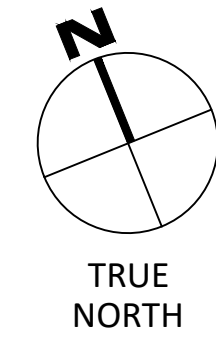
ROOF PLAN - EXISTING

A-103

SHEET - OF -







## NOTES

1. ADU'S SHALL HAVE AN INDEPENDENT HEAT PUMP SYSTEM TO PROVIDE HEATING AND COOLING CONTROLS. THE DESIGN OF THE SYSTEM SHALL BE PROVIDED FOR REVIEW IN BUILDING PERMIT APPLICATION.

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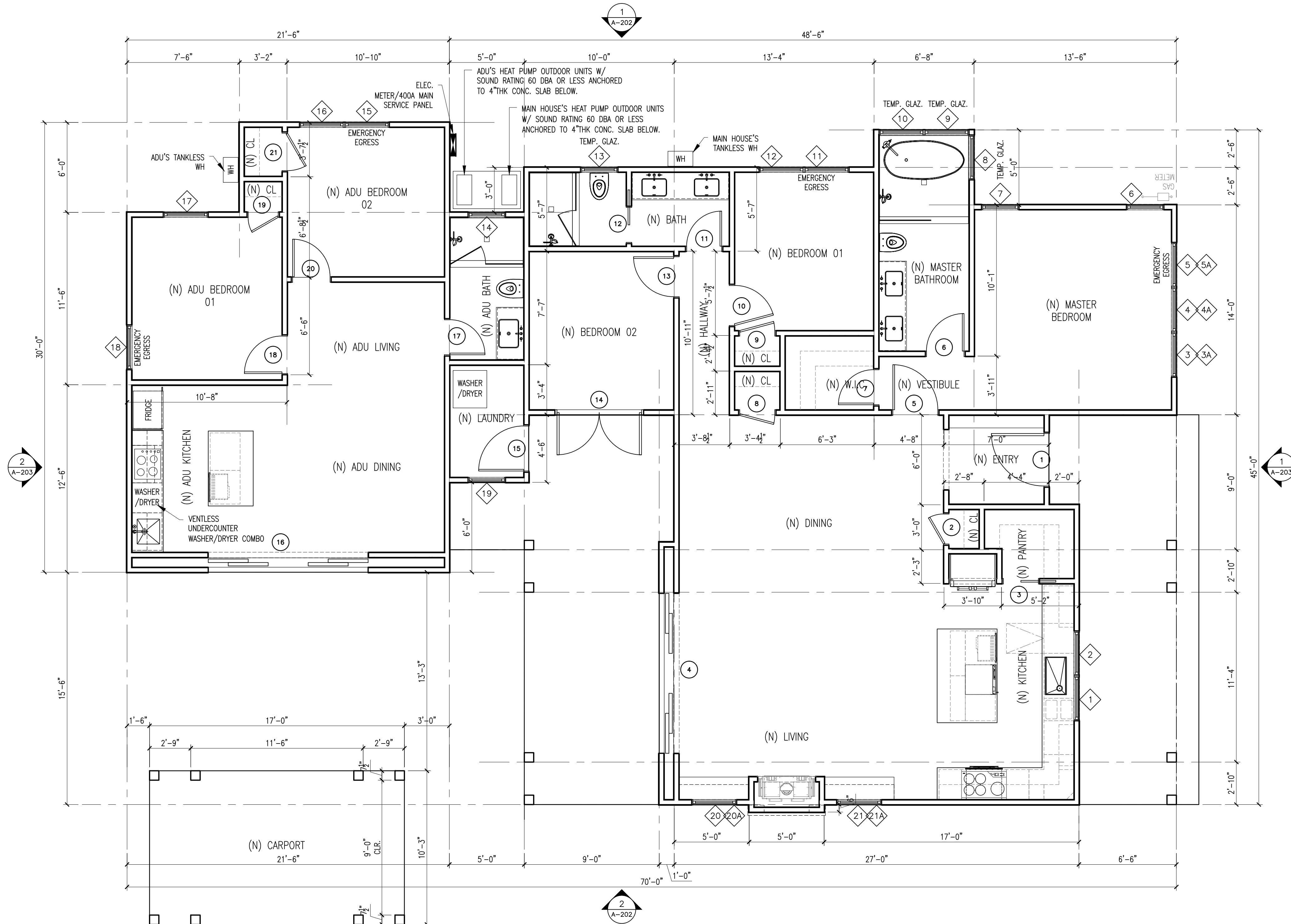


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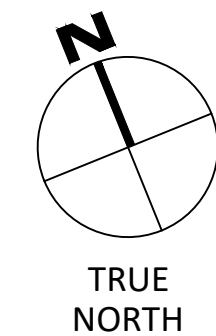


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SHEET TITLE

FLOOR PLAN - PROPOSED





### KEYNOTES

- (N) ASPHALT SHINGLE ROOF, BLACK
- (N) 6" HALF-ROUND GUTTER, PAINTED DARK GRAY
- (N) CURB-MOUNT VENTED SKYLIGHT, DARK GRAY
- (N) METAL CHIMNEY CAP, PAINTED BLACK

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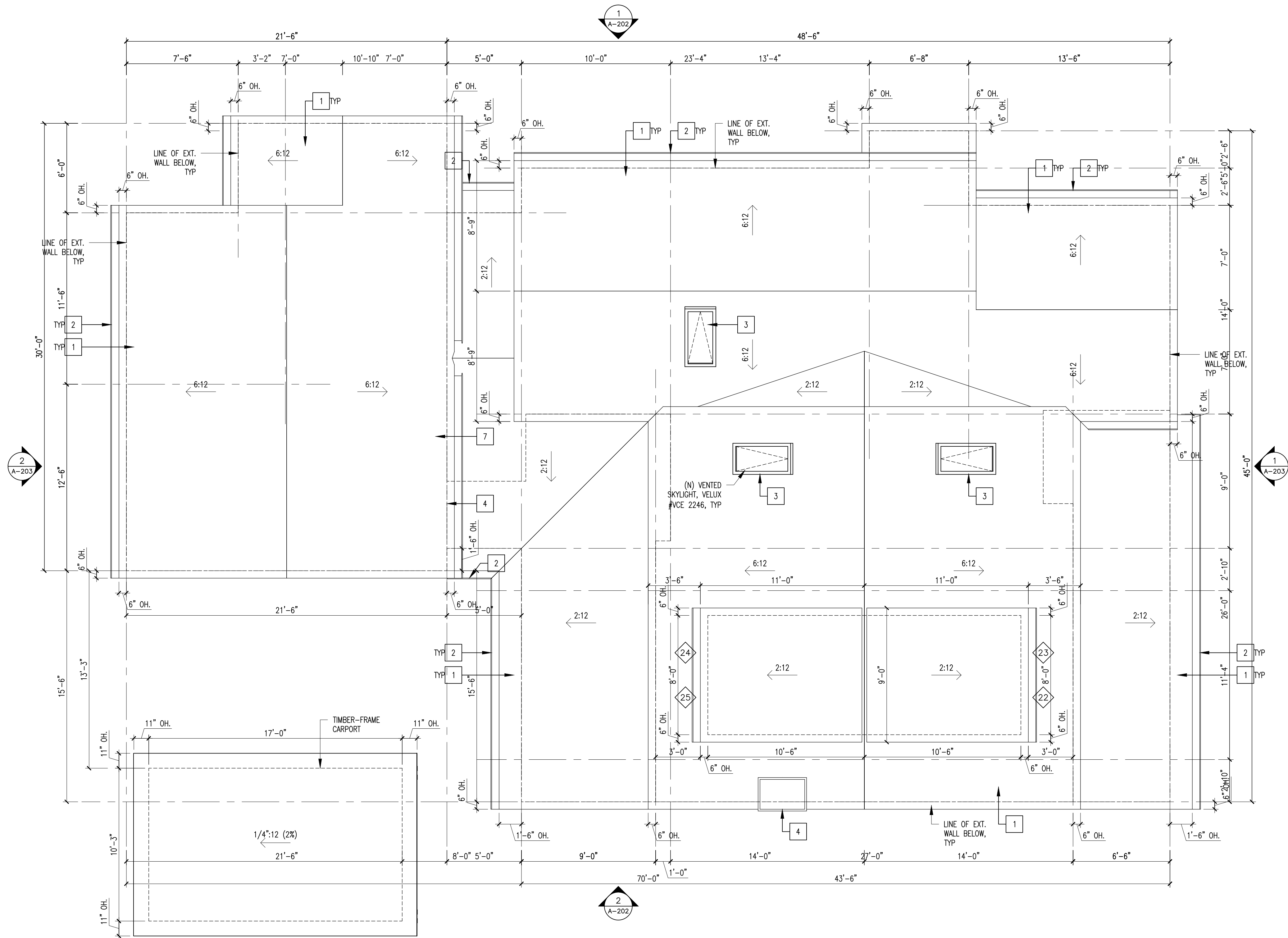


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1 ROOF PLAN - PROPOSED  
1/4" = 1'-0"

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

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MARK	DATE	DESCRIPTION
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ROOF PLAN - PROPOSED

A-105

SHEET - OF -





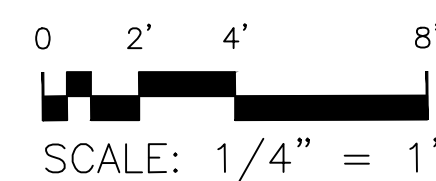
OWNER

KEN AND CAROL MILLER  
6651 Jefferson Street  
Yountville, California 94599

SHEET TITLE

BUILDING ELEVATIONS -  
EXISTING

1. (E) PAINTED TONGUE AND GROOVE SIDING
2. (E) PAINTED SHINGLE SIDING
3. (E) PAINTED BOARD AND BATTEN SIDING
4. (E) PAINTED BOARD SIDING
5. (E) 5 1/4" TRIM TYP.
6. (E) WOOD DOOR
7. (E) PAINTED CASEMENT WINDOW
8. (E) PAINTED WOOD DOUBLE HUNG WINDOW
9. (E) ALUMINUM SLIDER WINDOW



3 SOUTH ELEVATION – EXISTING





## MILLER RESIDENCE

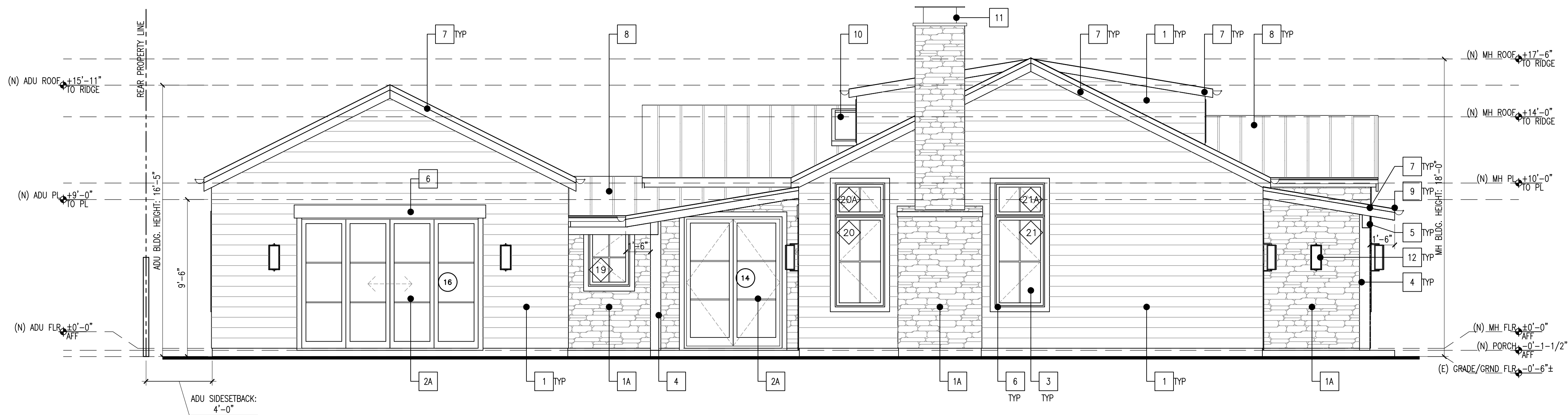
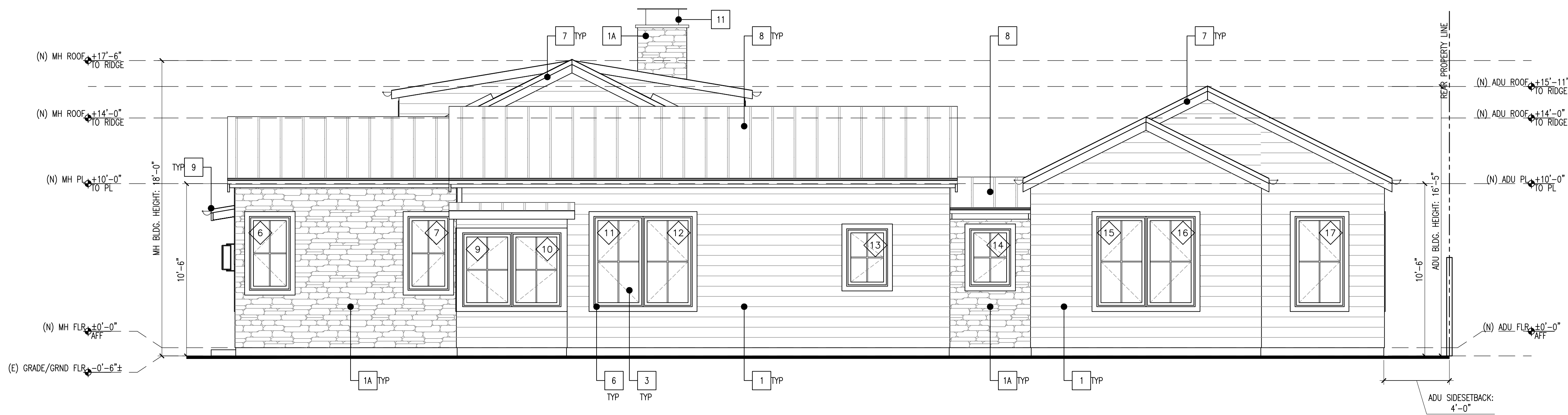
6651 JEFFERSON STREET  
YOUNTVILLE, CALIFORNIA 94599

OWNER

KEN AND CAROL MILLER  
6651 Jefferson Street  
Yountville, California 94599

## KEYNOTES

- (N) HORIZONTAL WOOD SIDING, DARK GRAY
- (N) METAL STANDING SEAM ROOF, DARK GRAY
- (N) NATURAL STONE VENEER
- (N) 6" HALF-ROUND GUTTER, PAINTED BLACK
- (N) WD. FRONT DOOR
- (N) CURB-MOUNT VENTED SKYLIGHT, DARK GRAY
- (N) ALUM. PATIO DOOR, BLACK
- (N) METAL CHIMNEY CAP, PAINTED BLACK
- (N) 8X8 RE-SAWN WD. POST, STAINED
- (N) WALL SCONCE
- (N) 8X RE-SAWN WD. BEAM, STAINED
- (N) 2X WD. CASING, PAINTED BLACK
- (N) 2X WD. FASCIA, PAINTED BLACK

2 SOUTH ELEVATION - RIGHT  
1/4" = 1'-0"0 2' 4' 8'  
SCALE: 1/4" = 1'-0"1 NORTH ELEVATION - LEFT  
1/4" = 1'-0"0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

12.08.23	DESIGN REVIEW
01.12.24	DESIGN REVIEW RESUBMITTAL
02.22.24	DESIGN REVIEW RESUBMITTAL

MARK	DATE	DESCRIPTION
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PROJECT NO:	2309
CAD DWG FILE:	2308-A-202 BUILDING ELEVATIONS - PROPOSED.DWG
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CHK'D BY:	-
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SHEET TITLE
BUILDING ELEVATIONS - PROPOSED

SHEET	-	OF	-
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MILLER RESIDENCE

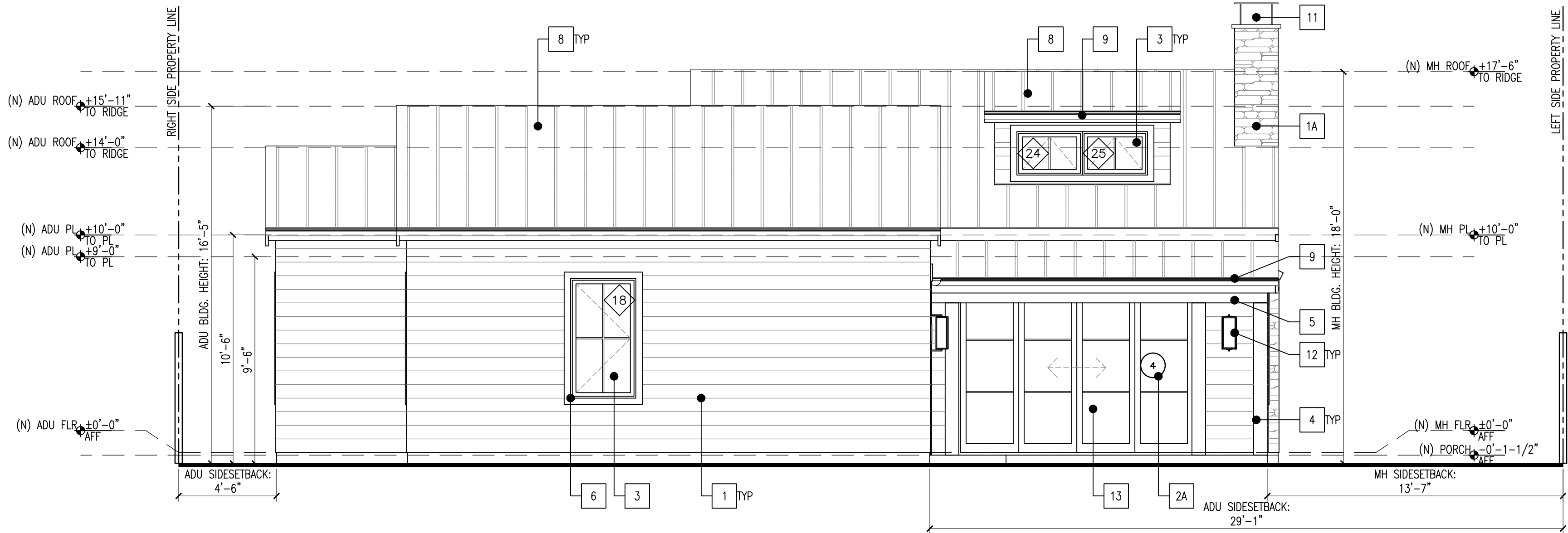
6651 JEFFERSON STREET  
YOUNTVILLE, CALIFORNIA 94599

OWNER

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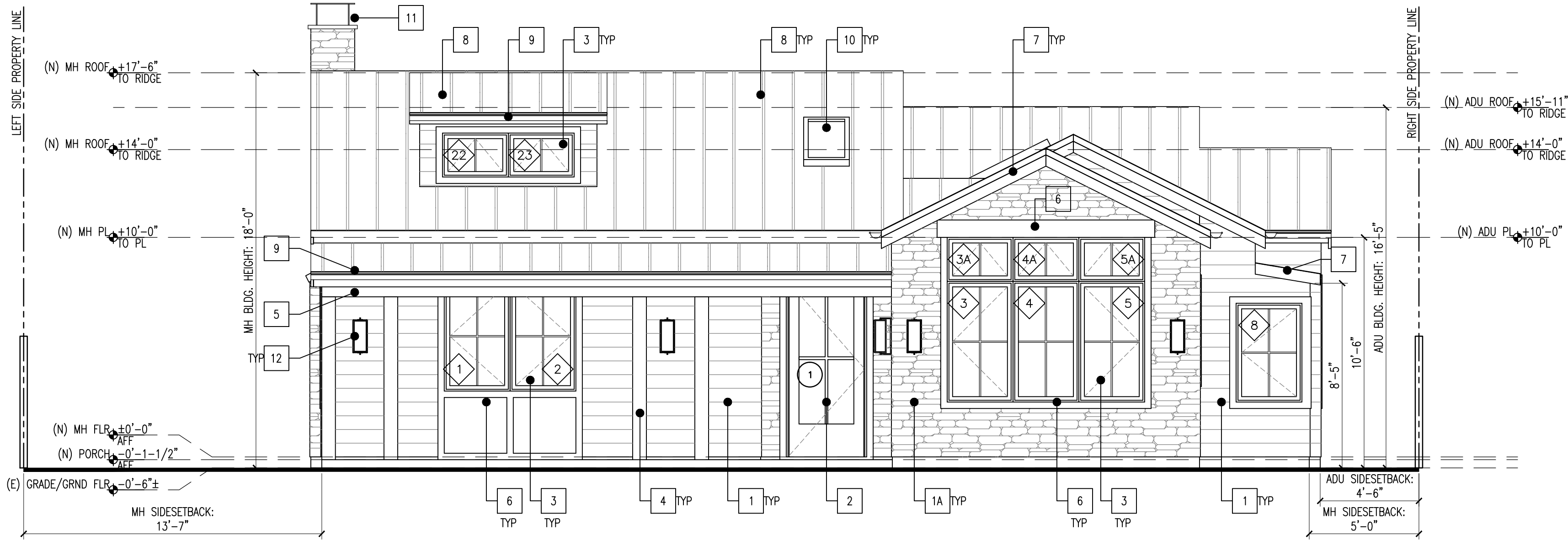
KEYNOTES

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- (N) METAL CHIMNEY CAP, PAINTED BLACK
- (N) ALUM. WINDOW, BLACK
- (N) WALL SCONCE
- (N) 8X8 RE-SAWN WD. POST, STAINED
- (N) 8X RE-SAWN WD. BEAM, STAINED
- (N) 2X WD. CASING, PAINTED BLACK
- (N) 2X WD. FASCIA, PAINTED BLACK



2 WEST ELEVATION - REAR  
1/4" = 1'-0"

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION - FRONT  
1/4" = 1'-0"

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

12.08.23	DESIGN REVIEW	
01.12.24	DESIGN REVIEW RESUBMITTAL	
02.22.24	DESIGN REVIEW RESUBMITTAL	
MARK	DATE	DESCRIPTION
PROJECT NO: 2309		
CAD DWG FILE: 2308-A-203 BUILDING ELEVATIONS - PROPOSED.DWG		
DRAWN BY: -		
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SHEET TITLE  
BUILDING ELEVATIONS -  
PROPOSED

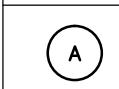
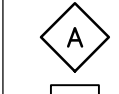
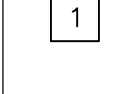
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SHEET - OF -

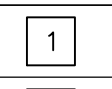
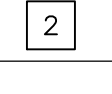


DOOR SCHEDULE																
MARK	SIZE			TYPE	MATL	GLAZING	DETAIL			FIRE RATING LABEL	HARDWARE		NOTES	MANUFACTURE		
	WD	HGT	THK				HEAD	JAMB	SILL		SET #	KEYSIDE RM #		MANUFACTURER	COLOR	MODEL
1	3'-6"	8'-0"	1 3/4"	C	WD					---	---	---	INSWING, RH	TRUSTILE	PAINT, TBD	TMP1000
2	2'-0"	8'-0"	1 3/4"	K	WD					---	---	---	POCKET, R	TRUSTILE	PAINT, TBD	TMP1000
3	2'-4"	8'-0"	1 3/4"	H	WD					---	---	---	OUTSWING, LH	TRUSTILE	PAINT, TBD	TMP1000
4	10'-8"	8'-3"	2 1/4"	A	ALUM. CLAD	2				---	---	---	MULTI SLIDE, PXX-XXP, EURO STILES	AG MILLWORKS	BLACK	ALUM. CLAD MULTI-SLIDES
5	3'-0"	8'-0"	1 3/4"	D	WD					---	---	---	INSWING, LH	TRUSTILE	PAINT, TBD	TMP1000
6	2'-6"	8'-0"	1 3/4"	F	WD					---	---	---	INSWING, LH	TRUSTILE	PAINT, TBD	TMP1000
7	2'-4"	8'-0"	1 3/4"	G	WD					---	---	---	INSWING, RH	TRUSTILE	PAINT, TBD	TMP1000
8	2'-4"	8'-0"	1 3/4"	G	WD					---	---	---	OUTSWING, RH	TRUSTILE	PAINT, TBD	TMP1000
9	2'-4"	8'-0"	1 3/4"	G	WD					---	---	---	OUTSWING, LH	TRUSTILE	PAINT, TBD	TMP1000
10	2'-8"	8'-0"	1 3/4"	E	WD					---	---	---	INSWING, RH	TRUSTILE	PAINT, TBD	TMP1000
11	2'-4"	8'-0"	1 3/4"	G	WD					---	---	---	INSWING, RH	TRUSTILE	PAINT, TBD	TMP1000
12	2'-4"	8'-0"	1 3/4"	H	WD					---	---	---	INSWING, LH	TRUSTILE	PAINT, TBD	TMP1000
13	2'-8"	8'-0"	1 3/4"	E	WD					---	---	---	POCKET, R	TRUSTILE	PAINT, TBD	TMP1000
14	6'-0"	8'-2"	2 1/4"	A	ALUM. CLAD	2				---	---	---	OUTSWING FRENCH	AG MILLWORKS	BLACK	ENERGY PERF. FRENCH
15	3'-0"	8'-0"	1 3/4"	D	WD					---	---	---	INSWING, LH	TRUSTILE	PAINT, TBD	TMP1000
16	10'-8"	8'-3"	2 1/4"	A	ALUM. CLAD	2				---	---	---	MULTI SLIDE, PXX-XXP, EURO STILES	AG MILLWORKS	BLACK	ALUM. CLAD MULTI-SLIDES
17	2'-4"	8'-0"	1 3/4"	G	WD					---	---	---	INSWING, RH	TRUSTILE	PAINT, TBD	TMP1000
18	2'-6"	8'-0"	1 3/4"	F	WD					---	---	---	INSWING, LH	TRUSTILE	PAINT, TBD	TMP1000
19	2'-0"	8'-0"	1 3/4"	K	WD					---	---	---	OUTSWING, LH	TRUSTILE	PAINT, TBD	TMP1000
20	2'-6"	8'-0"	1 3/4"	F	WD					---	---	---	INSWING, LH	TRUSTILE	PAINT, TBD	TMP1000
21	2'-6"	8'-0"	1 3/4"	F	WD					---	---	---	OUTSWING, LH	TRUSTILE	PAINT, TBD	TMP1000

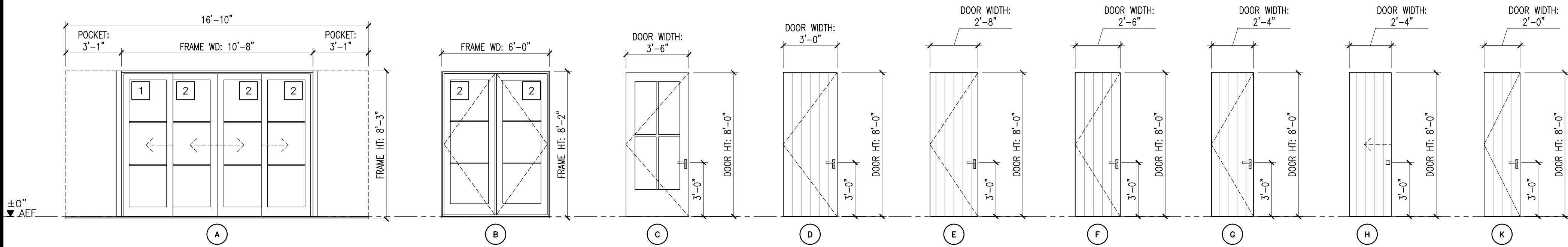
## LEGEND

	DOOR TYPE
	WINDOW TYPE
	GLAZING TYPE

## GLAZING TYPES

	3/4" DUAL GLAZED	SOLARBAN 72 STARPHIRE OR EQUAL		
	3/4" DUAL GLAZED	SOLARBAN 72 STARPHIRE OR EQUAL	TEMPERED	

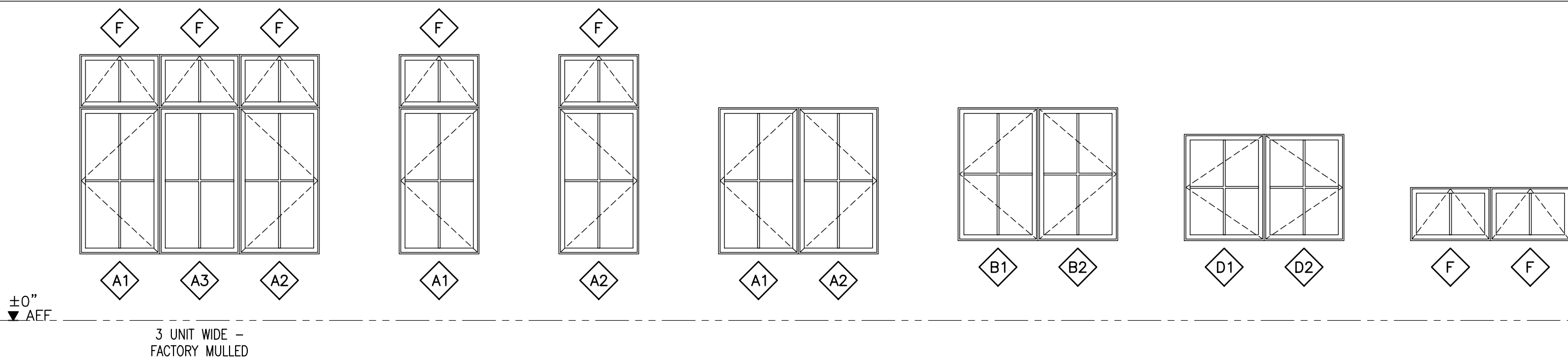
## DOOR TYPE ELEVATIONS



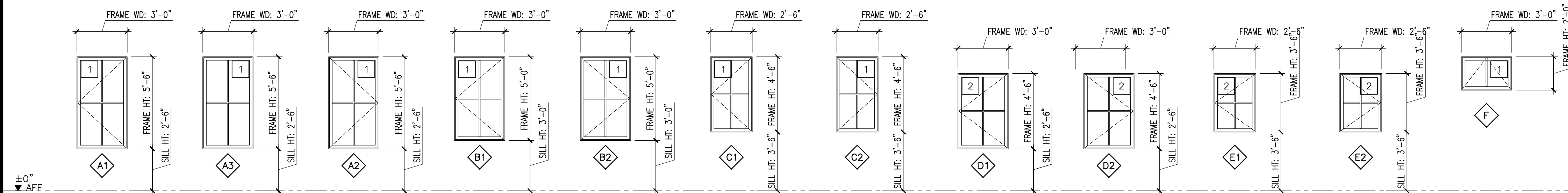
## WINDOW SCHEDULE

MARK	SIZE		SILL HT	TYPE	MATERIAL	GLAZING	DETAILS			NOTES	MANUFACTURER		
	WD	HT					HEAD	JAMB	SILL		MANUFACTURER	COLOR	MODEL
1	3'-0"	5'-0"	3'-0"	B1	ALUM. CLAD	Low-E3				CASEMENT, LH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3660 NARROW
2	3'-0"	5'-0"	3'-0"	B2	ALUM. CLAD	Low-E3				CASEMENT, RH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3660 NARROW
3	3'-0"	5'-6"	2'-6"	A1	ALUM. CLAD	Low-E3				CASEMENT, LH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
4	3'-0"	5'-6"	2'-6"	A2	ALUM. CLAD	Low-E3				CASEMENT, RH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
5	3'-0"	5'-6"	2'-6"	A3	ALUM. CLAD	Low-E3				PICTURE, FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WCP-3666 NARROW
3A	3'-0"	2'-0"	8'-0"	F	ALUM. CLAD	Low-E3				AWNING; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-SA-3624 NARROW
4A	3'-0"	2'-0"	8'-0"	F	ALUM. CLAD	Low-E3				AWNING; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-SA-3624 NARROW
5A	3'-0"	2'-0"	8'-0"	F	ALUM. CLAD	Low-E3				AWNING; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-SA-3624 NARROW
6	2'-6"	4'-6"	3'-6"	C1	ALUM. CLAD	Low-E3				CASEMENT, LH	SIERRA PACIFIC	BLACK	C-WC-3054 NARROW
7	2'-6"	4'-6"	3'-6"	C2	ALUM. CLAD	Low-E3				CASEMENT, RH	SIERRA PACIFIC	BLACK	C-WC-3054 NARROW
8	3'-0"	4'-6"	3'-0"	D1	ALUM. CLAD	Low-E3				CASEMENT, LH	SIERRA PACIFIC	BLACK	C-WC-3654 NARROW
9	3'-0"	4'-6"	3'-0"	D1	ALUM. CLAD	Low-E3				CASEMENT, LH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3654 NARROW
10	3'-0"	4'-6"	3'-0"	D2	ALUM. CLAD	Low-E3				CASEMENT, RH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3654 NARROW
11	3'-0"	5'-6"	2'-6"	A1	ALUM. CLAD	Low-E3				CASEMENT, LH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
12	3'-0"	5'-6"	2'-6"	A2	ALUM. CLAD	Low-E3				CASEMENT, RH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
13	2'-6"	3'-6"	3'-6"	E2	ALUM. CLAD	Low-E3				CASEMENT, RH	SIERRA PACIFIC	BLACK	C-WC-3042 NARROW
14	2'-6"	3'-6"	3'-6"	E1	ALUM. CLAD	Low-E3				CASEMENT, LH	SIERRA PACIFIC	BLACK	C-WC-3042 NARROW
15	3'-0"	5'-6"	2'-6"	A1	ALUM. CLAD	Low-E3				CASEMENT, LH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
16	3'-0"	5'-6"	2'-6"	A2	ALUM. CLAD	Low-E3				CASEMENT, RH; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
17	3'-0"	5'-6"	2'-6"	A2	ALUM. CLAD	Low-E3				CASEMENT, RH	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
18	3'-0"	5'-6"	2'-6"	A2	ALUM. CLAD	Low-E3				CASEMENT, RH	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
19	2'-6"	3'-6"	3'-6"	E1	ALUM. CLAD	Low-E3				CASEMENT, LH	SIERRA PACIFIC	BLACK	C-WC-3042 NARROW
20	3'-0"	5'-6"	2'-6"	A1	ALUM. CLAD	Low-E3				CASEMENT, LH	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
21	3'-0"	5'-6"	2'-6"	A2	ALUM. CLAD	Low-E3				CASEMENT, RH	SIERRA PACIFIC	BLACK	C-WC-3666 NARROW
20A	3'-0"	2'-0"	8'-0"	F	ALUM. CLAD	Low-E3				AWNING; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-SA-3624 NARROW
21A	3'-0"	2'-0"	8'-0"	F	ALUM. CLAD	Low-E3				AWNING; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-SA-3624 NARROW
22	3'-0"	2'-0"		F	ALUM. CLAD	Low-E3				AWNING; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-SA-3624 NARROW
23	3'-0"	2'-0"		F	ALUM. CLAD	Low-E3				AWNING; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-SA-3624 NARROW
24	3'-0"	2'-0"		F	ALUM. CLAD	Low-E3				AWNING; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-SA-3624 NARROW
25	3'-0"	2'-0"		F	ALUM. CLAD	Low-E3				AWNING; FACTORY MULLED	SIERRA PACIFIC	BLACK	C-SA-3624 NARROW

## MULLING ELEVATIONS



## WINDOW TYPE ELEVATIONS



# MG+CO

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MILLER RESIDENCE

6651 JEFFERSON STREET  
YOUNTVILLE, CALIFORNIA 94599

OWNER

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6651 Jefferson Street  
Yountville, California 94599

12.08.23	DESIGN REVIEW
01.12.24	DESIGN REVIEW RESUBMITTAL
02.22.24	DESIGN REVIEW RESUBMITTAL

MARK	DATE	DESCRIPTION
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CAD DWG FILE:	2309-A-601 OPENING SCHEDULES.DWG
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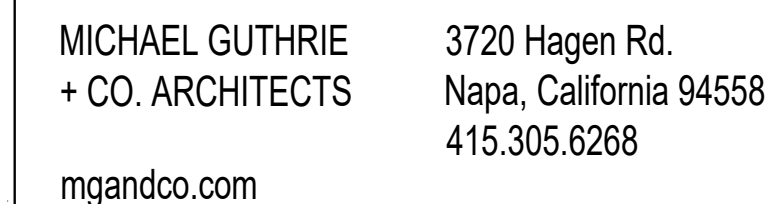
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OPENING SCHEDULES

A-601

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YOUNTVILLE, CALIFORNIA, 94599

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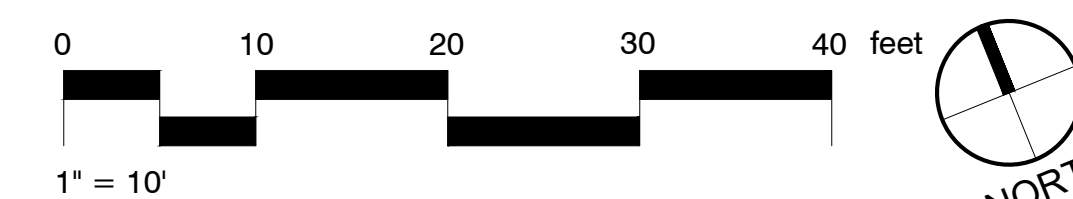
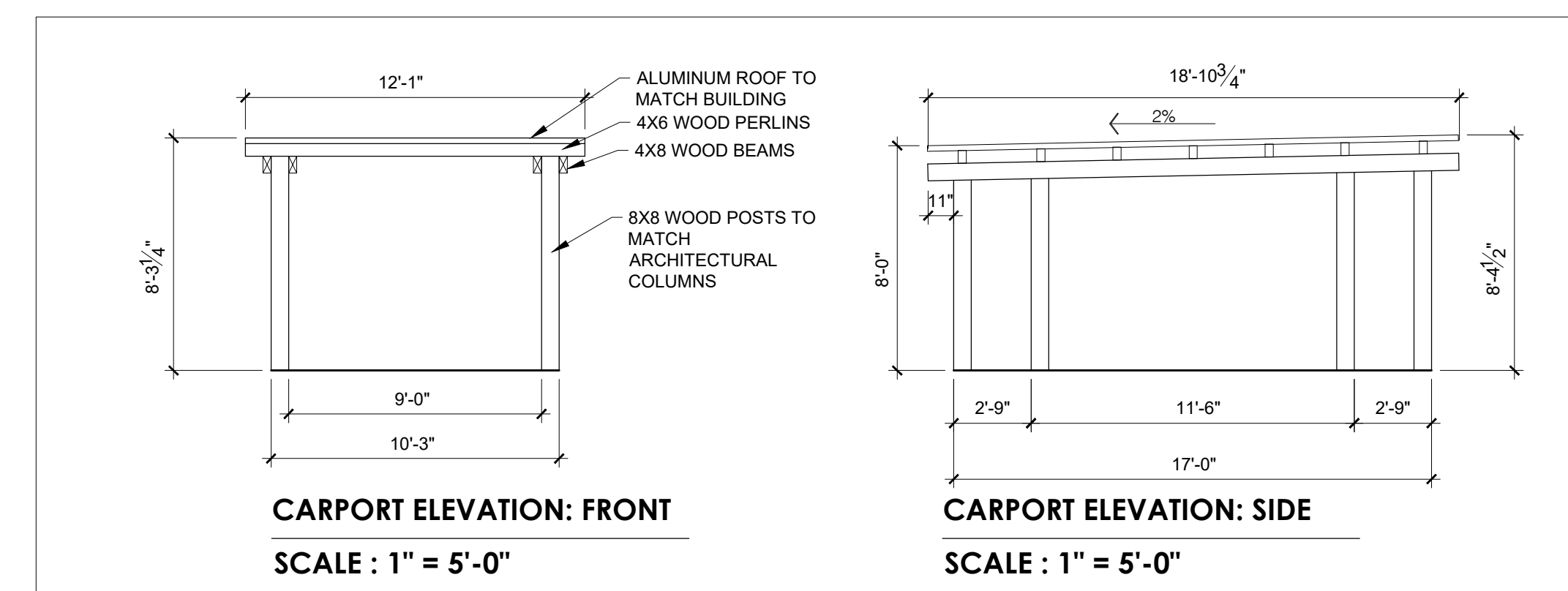
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**SCALE : 1" = 10'-0"**

### PROPOSED SITE PLAN NOTES

1. THE WATER SUPPLY TYPE IS THE TOWN
2. PROJECT TYPE: SINGLE FAMILY RESIDENTIAL
3. prior to Construction Permit Submittal, a certified Arborist will review existing trees and provide recommendations for protections during construction



### SITE PLAN - EXISTING AND PROPOSED

**L-100**

SHEET

OF





MICHAEL GUTHRIE  
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CONSULTANTS

MILLER RESIDENCE

6651 JEFFERSON ST.  
YOUNTVILLE, CALIFORNIA, 94599

OWNER

1/12/24 Planning Board Submission

02/22/24 Design Review Submittal

MARK DATE DESCRIPTION

PROJECT NO: 2309

CAD DWG FILE: MILLER\_PLANTING\_PLANTING

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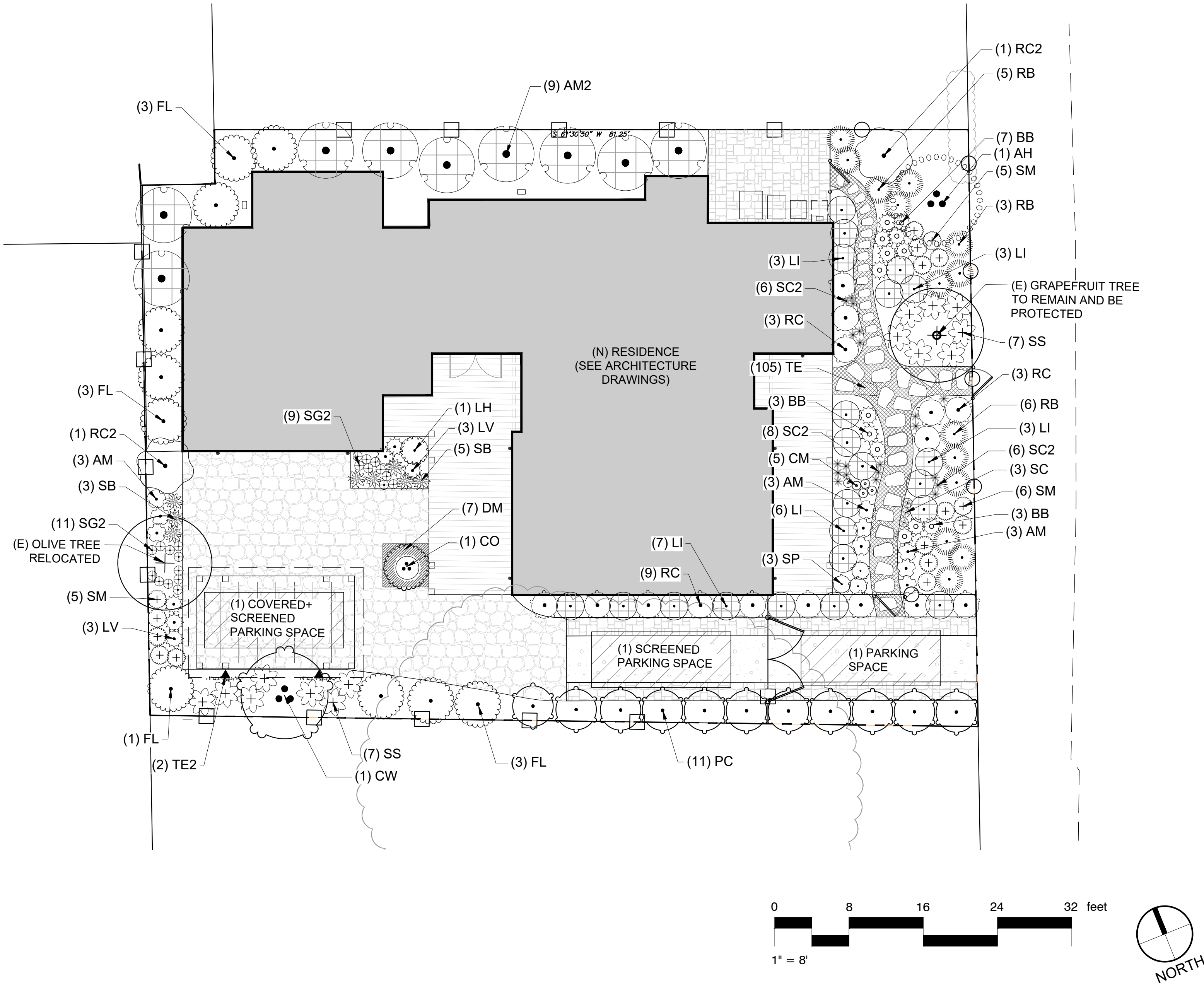
PLANTING PLAN

L-101

SHEET

OF

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	WATER USE
TREES						
	AH	1	ARCTOSTAPHYLOS MANZANITA 'DR. HURD' / DR. HURD COMMON MANZANITA	12" BOX, MULTI-STEM		LOW
	CW	1	CERCIS OCCIDENTALIS / WESTERN REDBUD MULTI-TRUNK	36" BOX, MULTI-STEM		LOW
	CO	1	CITRUS X MEYERI DWARF / DWARF MEYER LEMON	10 GAL. IN A POT		MODERATE
	PC	11	PRUNUS CAROLINIANA 'COMPACTA' / COMPACT CAROLINA CHERRY LAUREL	15 GALLON	4'-5'	LOW
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	WATER USE
SHRUBS						
	AM2	9	ARCTOSTAPHYLOS X 'PACIFIC MIST' / PACIFIC MIST MANZANITA	5 GAL	72 IN. O.C.	LOW
	FL	10	FRANGULA CALIFORNICA 'LEATHERLEAF' / LEATHERLEAF COFFEEBERRY	5 GAL	60 IN. O.C.	LOW
	RC	15	ROSA X 'ICEBERG' / ICEBERG FLORIBUNDA ROSE	5 GAL	36 INCHES O.C.	LOW
	RB	14	ROSMARINUS OFFICINALIS 'BARBEQUE' / BARBEQUE ROSEMARY	5 GAL	36 INCHES O.C.	LOW
GRASSES						
	BB	13	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.	24 INCHES O.C.	LOW
	LI	22	LOMANDRA LONGIFOLIA 'BREEZE' / BREEZE™ MAT RUSH	1 GAL.	36 INCHES O.C.	LOW
PERENNIALS						
	AM	9	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL.	24 INCHES O.C.	LOW
	CM	5	COREOPSIS X 'MOONLIGHT' / MOONLIGHT TICKSEED	1 GAL.	12 INCHES O.C.	LOW
	LH	1	LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE' / HIDCOTE BLUE ENGLISH LAVENDER	1 GAL.	24-36 INCHES O.C.	LOW
	LV	6	LAVANDULA STOECHAS 'MADRID BLUE' / MADRID BLUE SPANISH LAVENDER	1 GAL.	24 INCHES O.C.	LOW
	RC2	2	ROMNEYA COULTERI / MATILUA POPPY	3 GAL.	72 IN. O.C.	VERY LOW
	SC	3	SALVIA APIANA COMPACTA / COMPACT WHITE SAGE	1 GAL.	12 INCHES O.C.	VERY LOW
	SP	3	SALVIA LEUCOPHYLLA / PURPLE SAGE	1 GAL.	24 INCHES O.C.	LOW
	SM	16	SALVIA MELLIFERA / BLACK SAGE	2 GAL.	24 INCHES O.C.	LOW
	SC2	20	SALVIA NEMOROSA 'CARADONNA' / CARDONNA MEADOW SAGE	1 GAL	12 INCHES O.C.	MODERATE
	SS	14	SALVIA SPATHACEA / HUMMINGBIRD SAGE	1 GAL.	36 INCHES O.C.	LOW
	SG2	20	SANTOLINA ROSMARINIFOLIA / GREEN SANTOLINA	1 GAL.	12 INCHES O.C.	LOW
	SB	8	STACHYS BYZANTINA 'BIG EARS' / BIG EARS LAMB'S EAR	1 GAL.	24 INCHES O.C.	LOW
VINES						
	TE2	2	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE TRELLIS	5 GAL		MODERATE
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	WATER USE
GROUND COVERS						
	DM	7	DYMONDIA MARGARETAE / SILVER CARPET DYMONDIA	FLAT	20" o.c.	LOW
	TE	105	THYMUS SERPYLLUM 'ELFIN' / ELFIN CREEPING THYME	FLAT	12" o.c.	LOW



#### PLANTING PLAN NOTES

1. THE WATER SUPPLY TYPE IS THE TOWN
2. PRIOR TO PLANTING, COMPACTED SOIL SHALL BE TRANSFORMED TO A FRIABLE CONDITION.
3. SEE PLANT LIST FOR LOW AND MEDIUM WATER USE PLANTS. THESE PLANTS ARE AVERAGE WUCOLS PLANT FACTOR OF 0.3 OR LESS.
4. INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM DEPTH OF 6 INCHES AT A MINIMUM RATE OF 4 CUBIC YARDS PER 1,000 SQUARE FEET.
5. APPLY A MINIMUM OF 3-INCH LAYER OF MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS.





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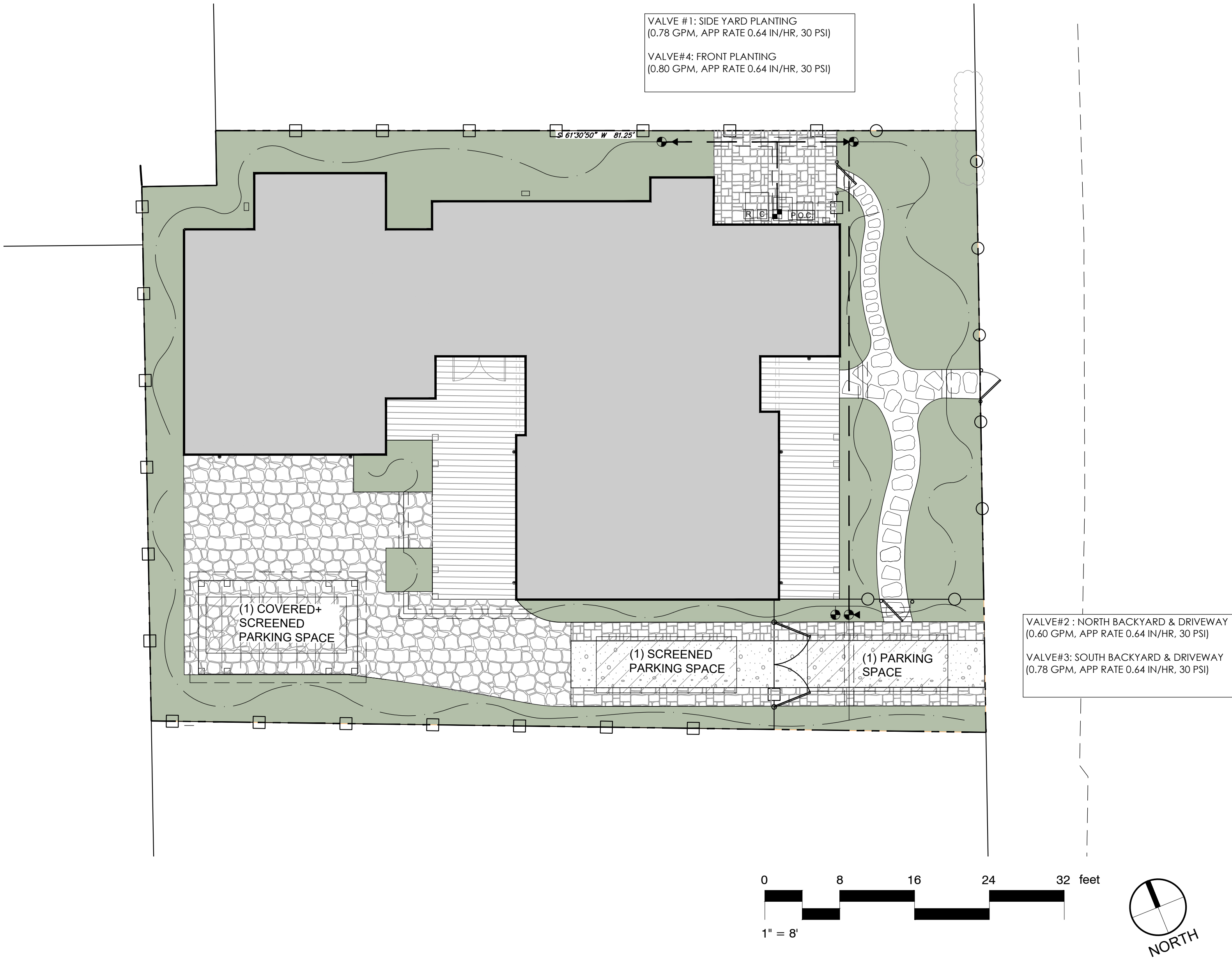
3720 Hagen Rd.  
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415.305.6268

CONSULTANTS

MILLER RESIDENCE

6651 JEFFERSON ST.  
YOUNTVILLE, CALIFORNIA, 94599

OWNER



IRRIGATION PLAN NOTES

1. VERIFY POINT OF CONNECTION (POC) AND PLACEMENT OF BACKFLOW PREVENTER
2. INCLUDE MASTER SHUT OFF VALVE AT POINT OF CONNECTION
3. VERIFY SITE WATER PRESSURE AT 55 PSI MIN
4. VERIFY ELECTRICAL SOURCE AND PLACEMENT OF CONTROLLER WITH OWNER
5. VERIFY OPERATION OF SYSTEMS AND PRESSURE BEFORE BACKFILLING TRENCHES. DRIP LINES TO BE SECURED TO GRADE WITH 6\" LANDSCAPE STAPLES AND COVERED WITH MULCH
6. SYSTEM LAYOUT IS DIAGRAMMATIC. ACTUAL FIELD CONDITIONS WILL DICTATE FINAL LAYOUT, ADDITION OF DRIP LINES, ETC
7. VERIFY CONTROL WIRE PLACEMENT AND VALVE OPERATION
8. VERIFY RAIN SENSOR IN FIELD
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING AND MONITORING IRRIGATION SYSTEM TO
10. APPLY ADEQUATE WATER FOR ESTABLISHMENT BUT TO ELIMINATE RUNOFF AND SOIL SATURATION
11. CONTRACTOR TO SUBMIT IRRIGATION SCHEDULE TO OWNER AT COMPLETION OF INSTALLATION AND WARRANTY PERIOD
12. CONTRACTOR SHALL VERIFY LOCATION OF ALL NEW UNDERGROUND UTILITIES PRIOR TO ANY TRENCHING OR IRRIGATION
13. HAND TRENCHING TO BE DONE NEAR EXISTING TREES. NO ROOTS 1\" DIAMETER AND LARGER SHALL BE CUT WITHOUT APPROVAL OF OWNER.
14. VERIFY AND COORDINATE INSTALLATION OF MAINLINE AND LATERAL LINES UNDER ALL PAVEMENT
15. CONTROL WIRES SHALL BE SET ADJACENT TO MAINLINE
16. A MINIMUM 3\" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES
17. IRRIGATION SHALL BE DELIVERED BY DRIP OR MICROSPRAY DEVICES ONLY. MICROSPRAY IS DEFINED AS HAVING A FLOW RATE NOT TO EXCEED 30 GPH AT 30 PSI

IRRIGATION PLAN LEGEND

- IRRITROL RAINDIAL RD-900 9 STATION WEATHER BASED CONTROLLER WITH WEATHER SENSOR (VERIFY PLACEMENT)
- IRRITROL REMOTE RAIN SENSOR LOCATION (ON FENCE IN EXPOSED LOCATION)
- FEBCO 825Y 1\" REDUCED PRESSURE BACKFLOW PREVENTER (VERIFY PLACEMENT)
- 1\" GATE VALVE BEFORE EACH VALVE SET AND AT POINT OF CONNECTION
- PVC SCH 40 MAINLINE (1\" UNLESS OTHERWISE NOTED; MINIMUM 18\" DEPTH)
- PVC SCH 40 LATERAL LINE (3/4\" UNLESS OTHERWISE NOTED; MINIMUM 12\" DEPTH)
- RAINBIRD PEB SERIES CONTROL VALVES (OR EQUAL) SIZED PER MAINLINE. DRIP LINES TO INCLUDE IN LINE 30 PSI PRESSURE REGULATOR AND Y FILTER
- AGRIFIM IN-LINE DRIP LINES WITH 0.9 GPH CHECK VALVE EMITTERS AT 12\" SPACING WITH FLUSH VALVES AT END OF RUNS (STAKED TO GRADE WITH 6\" LANDSCAPE STAPLES). MEETS ANSI STANDARD.
- 3\" STYRENE SLEEVE UNDER HARDSCAPE WHERE NECESSARY

11/12/24	Planning Board Submission
02/22/24	Design Review Submittal

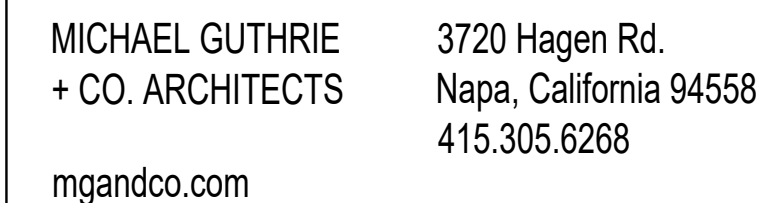

MARK	DATE	DESCRIPTION

PROJECT NO:	2309
CAD DWG FILE:	MILLER_IRRIGATION_PLANS.DWG
DRAWN BY:	-
CHK'D BY:	MICHAEL GUTHRIE
COPYRIGHT:	

SHEET TITLE
IRRIGATION PLAN

SHEET	L-102	OF
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## CONSULTANTS

MILLER RESIDENCE

6651 JEFFERSON ST.  
YOUNTVILLE, CALIFORNIA, 94599

OWNER

1/12/24	-Planning Board Submission
02/22/24	Design Review Submittal
MARK	DATE DESCRIPTION
PROJECT NO:	2309
CAD DWG FILE:	MULLER_IRRIGATION_PLANS.DWG
DRAWN BY:	--
CHK'D BY:	MICHAEL GUTHRIE
COPYRIGHT:	

## HYDROZONE PLAN & WELO CALCULATIONS

**L-103**

SHEET OF

### SUGGESTED IRRIGATION SCHEDULE

STATION #	TYPE	HYDROZONE	Spring			Summer			Fall		
			Start	Days	Time	Start	Days	Time	Start	Days	Time
1	Drip	SIDE YARD PLANTING	7am	MWF	30	7am	MWF	25	7am	MWF	25
2	Drip	NORTH BACKYARD & DRIVEWAY	7am	MWF	30	7am	MWF	30	7am	MWF	30
3	Drip	SOUTH BACKYARD & DRIVEWAY	7am	MWF	30	7am	MWF	30	7am	MWF	30
4	Drip	FRONT PLANTING	7am	MWF	30	7am	MWF	30	7am	MWF	30

## HYDROZONE LAYOUT LIST

HYDROZONE #	TYPE OF IRRIGATION	HYDROZONE	WATER USE CATEGORY	SQUARE FOOTAGE
1	Drip	SIDE YARD PLANTING	LOW	507
2	Drip	NORTH BACKYARD & DRIVEWAY	LOW	178
3	Drip	SOUTH BACKYARD & DRIVEWAY	LOW	391
4	Drip	FRONT PLANTING	LOW	766

**Total irrigated area: 1842**

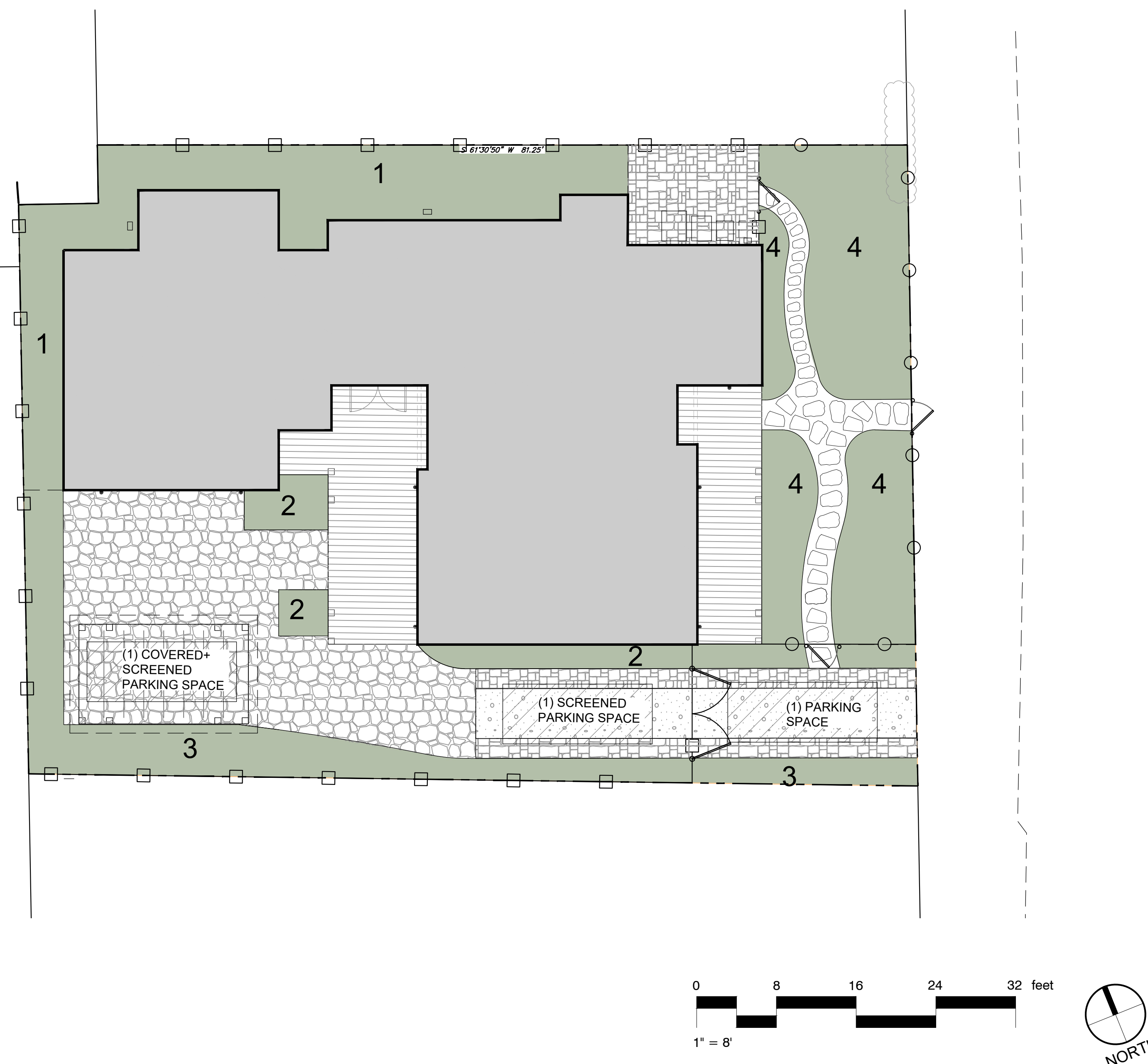
## WELO CALCULATIONS

<b>CALIFORNIA WATER EFFICIENT LANDSCAPE WORKSHEET</b>							
<b>Project address:</b> 6551 Jefferson St. Yountville, CA							
<b>Reference Evapotranspiration (Eto)</b>	<b>47.7</b>						
<b>Hydrozone #/Planting Description (a)</b>	<b>Plant Factor (PF)</b>	<b>Irrigation Method (b)</b>	<b>Irrigation Efficiency (IE)c</b>	<b>ETAF (PF/IE)</b>	<b>Project Type: Irrigated Landscape Area (Sq Ft)</b>	<b>Residential ETAF x Area</b>	<b>0.55 Estimated Total Water Use (ETWU)d</b>
#1 Side Yard Planting	0.17	Drip	0.81	0.2	507	106	2924
#2 N Backyard & Drivewa	0.32	Drip	0.81	0.4	178	70	1866
#3 S Backyard & Drivewa	0.31	Drip	0.81	0.4	391	150	3971
#4 Front planting	0.28	Drip	0.81	0.3	766	265	7025
					Totals	1842	591
<b>Special Landscape Areas</b>							
						0	0
					Totals	1842	591
						<b>ETWU Total:</b>	
						<b>Maximum Allowed Water Allowance (MAWA)b</b>	
						15687	
						29961	

ETAF Calculations			MAWA:	
Regular Landscape Areas		All Landscape Areas		
Total ETAF x Area	591	ETAF x Area	591	Eto x .62
Total Area	1842	Total Area	1842	Total Area x .55
Avg ETAF	0.32	Avg ETAF	0.32	SLA
				MAWA
				29.6
				1013.1
				1
				29961

$$\text{ETWU (Annual Gallons Required)} = \text{Eto} \times 0.62 \times \text{ETAF} \times \text{Area}$$
$$\text{MAWA (Annual Gallons Allowed)} = (\text{Eto})(0.62)[(\text{ETAF} \times \text{LA}) + (1 - \text{ETAF}) \times \text{SLA}]$$

0.62	Conversion factor
0.45	Non-residential
0.55	Residential
0.81	Drip IE
0.75	Overhead IE





February 22, 2024 (revised)  
Yountville Planning Design Review Submittal

## Project Description

The Miller House  
6651 Jefferson Street  
Yountville, CA

The Proposed Project will be the replacement of an existing single family residence and detached garage with a new Residence and attached ADU. The existing un-remarkable structures will be demolished and replaced with a new structure resembling Traditional Residential design found along Jefferson Street and thruout Yountville Historic (H)Zoned Residential areas.

The new Home will be 1,408 square feet with a Master Bedroom, Wardrobe, Master Bath. A Guest Bedroom, small Office/Bedroom with a shared Bathroom that will also serve as a Guest Powder Room accessible from common areas. The Kitchen, Pantry, Breakfast Island, Dining Area, and Living Room share a common space with access to an outdoor covered back yard Terrace that is designed to complement the desired Historic Architectural Features.

The attached 692 square foot ADU is accessible independently via a large sliding door with access to the exterior garden. There is a common Living, Dining, Kitchen and Breakfast Island area with access to a single bathroom shared with a Master Bedroom and a Secondary Bedroom. There is a shared Laundry Room for use of the Main Residence and the ADU (previous roof terrace has been omitted).

The Street Façade and Front Door Entrance is also complemented by a covered outdoor Front Porch which simulates other Historic Features of the neighborhood. The roof pitch is predominantly 6in12 with porches at 2in12. Roof material will be standing seam metal in dark warm brown/grey color. Exteriors will be painted horizontal ship lap siding in a medium grey/brown color. Windows will be painted dark metal clad wood. Some exterior features, the vertical Fireplace Flue and the exterior of the Master bedroom will be clad in a light beige natural stone.



February 22, 2024  
Project Description  
Page 2

Extensive Landscaping will compliment the Architecture and hard surfaces will be predominantly permeable to aid the storm water runoff. The Site will accommodate 3 car Parking spaces, 2 for the Main Residence with a gate to shield 2 cars from Street visibility, and one (1) space for the ADU. One of the spaces is under a covered structure designed to appear as decorative garden "trellis", located at the West end of the driveway and accommodating the side yard setback.

End





**BC Engineering Group**  
*Civil Engineering & Land Planning*

**Stormwater Control Plan  
For a Single-Family Residence  
6651 Jefferson Street, Yountville  
APN: 036-035-004**

December 6, 2023

Ken Miller  
2349 Eaton Avenue, San Carlos  
(415) 777-2101  
prepared by:



Andrew S. Willis, P.E.  
Exp. March 31, 2025  
Job# 2978-23  
707-542-4321  
aw@bcengineeringgroup.com



## Introduction

The California State Water Resources Control Board reissued the Phase II NPDES Permit for Small Municipal Storm Sewer Systems (MS4s) in February 2013. As of June 30, 2015, development projects that create or replace 2,500 square feet\* or more of impervious surface (roofs or pavement) must incorporate specified measures to reduce runoff. This requirement is part of municipalities' comprehensive effort to reduce runoff pollution. Some municipalities may choose to implement the requirements earlier, and/or on projects that create or replace less than 2,500 square feet of impervious surface.

This project is located at 6651 Jefferson Street, Yountville, California. This project proposes to construct a new single-family residence and accessory dwelling unit. The parcel is zoned Old Town Historic which will remain the same.

This parcel is 0.13 acres, consisting of an existing single-family residence, detached garage, few scattered trees, located on relatively flat land. The soil type is Coombs gravelly loam. Existing stormwater runoff generally flows overland from the westerly property line to the easterly property line toward Jefferson Street.

The purpose of this project is to demolish the existing structures on the subject parcel in order to construct a new residence and accessory dwelling unit.

This project proposes to utilize vegetated areas and permeable pavers as the runoff reduction measure to provide treatment of stormwater that comes into contact with proposed impervious surfaces and to satisfy the requirements issued by the California State Water Resources Control Board of Phase II NPDES Permit for Small Municipal Storm Sewer Systems (MS4s). The standard specifications for each runoff reduction measure shall be met and are described below.





## Step 1: Project Data Form and Runoff Reduction Measure Selection

Complete all fields.

<b>Project Name/Number</b>	2978-23
<b>Application Submittal Date</b> [to be verified by municipal staff]	December 6, 2023
<b>Project Location</b> [Street Address if available, or intersection and/or APN]	6651 Jefferson Street, Yountville, CA 94599
<b>Name of Owner or Developer</b>	Ken and Carol Miller
<b>Project Type and Description</b> [Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking"]	Single Family Residence with ADU
<b>Total Project Site Area (acres)</b>	0.13 Acres
<b>Total New or Replaced Impervious Surface Area (square feet)</b> [Sum of impervious area that will be constructed as part of the project]	2,094 sq. ft.
<b>Total Pre-Project Impervious Surface Area</b>	1,215 sq. ft.
<b>Total Post-Project Impervious Surface Area</b>	2,094 sq. ft. (879 sq. ft. additional)
<b>Runoff Reduction Measures Selected</b> (Check one or more)	<input checked="" type="checkbox"/> 1. Disperse runoff to vegetated area <input checked="" type="checkbox"/> 2. Pervious pavement <input type="checkbox"/> 3. Cisterns or Rain Barrels <input type="checkbox"/> 4. Bioretention Facility or Planter Box





## Runoff Reduction Options

### Option 1: Disperse runoff from roofs or pavement to vegetated areas.

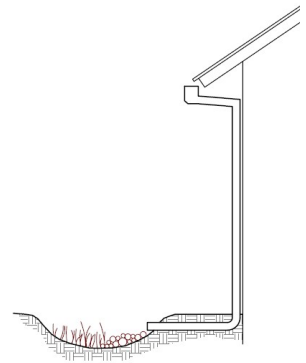
This is the simplest option. Downspouts can be directed to vegetated areas adjacent to buildings, or extended via pipes to reach vegetated areas further away. Paved areas can be designed with curb cuts, or without curbs, to direct flow into surrounding vegetation.

On the site plan, show:

- ☒ Each impervious area from which runoff will be directed, and its square footage.
- ☒ The vegetated areas that will receive runoff, and the approximate square footage of each.
- ☒ If necessary, explain in notes on the plan how runoff will be routed from impervious surfaces to vegetated areas.

Confirm the following standard specifications are met:

- ☒ Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- ☒ Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- ☒ Paved areas are sloped so drainage is routed to the receiving pervious area.
- ☒ Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- ☒ Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- ☒ Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.



Connecting a roof leader to a vegetated area. The head from the eave height makes it possible to route roof drainage some distance away from the building.





## Option 2: Permeable Pavement

This option can be easy to install and maintain, cost-effective, and can add aesthetic value to your project. Permeable pavements may include pervious concrete, pervious asphalt, porous pavers, crushed aggregate, open pavers with grass or plantings, open pavers with gravel, or solid pavers.

Show on your site plan:

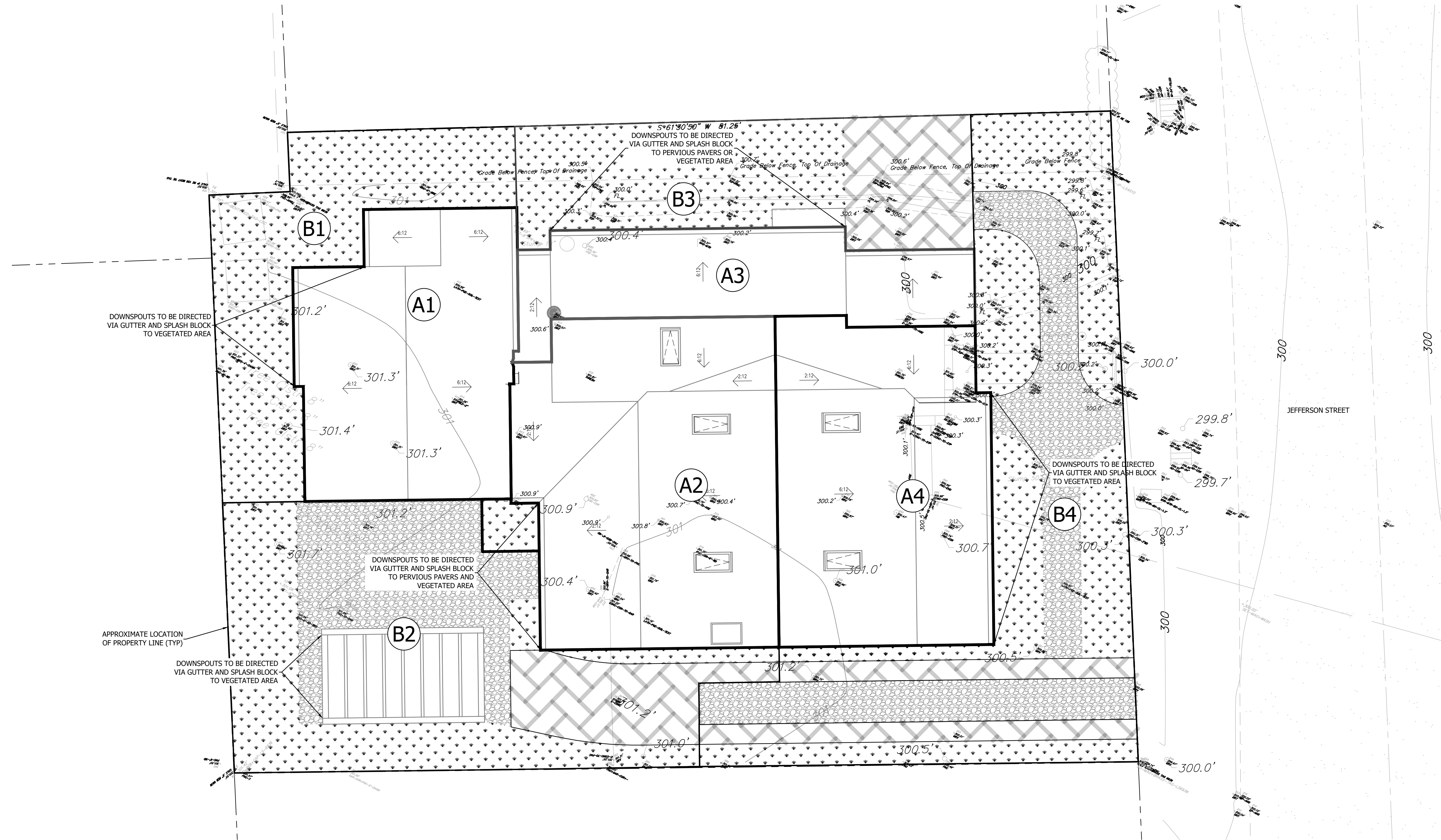
- ☒ Location, extent and types of pervious pavements.



Confirm the following standard specifications are met:

- ☒ No erodible areas drain on to permeable pavement.
- ☒ Subgrade compaction is minimal.
- ☒ Reservoir base course is of open-graded crushed stone. Base depth is adequate to retain rainfall (3 inches is adequate) and support design loads (more depth may be required).
- ☒ No subdrain is included or, if a subdrain is included, outlet elevation is a minimum of 3 inches above bottom of base course.
- ☒ Subgrade is uniform and slopes are not so steep that subgrade is prone to erosion.
- ☒ Rigid edge is provided to retain granular pavements and unit pavers.
- ☒ Solid unit pavers, if used, are set in sand or gravel with minimum 3/8 inch gaps between the pavers. Joints are filled with an open-graded aggregate free of fines.
- ☒ Permeable concrete or porous asphalt, if used, are installed by industry-certified professionals according to the vendor's recommendations.
- ☒ Selection and location of pavements incorporates Americans with Disabilities Act requirements (if applicable), site aesthetics, and uses.

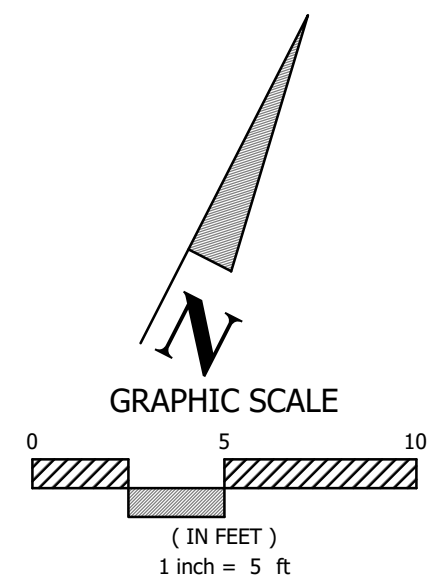
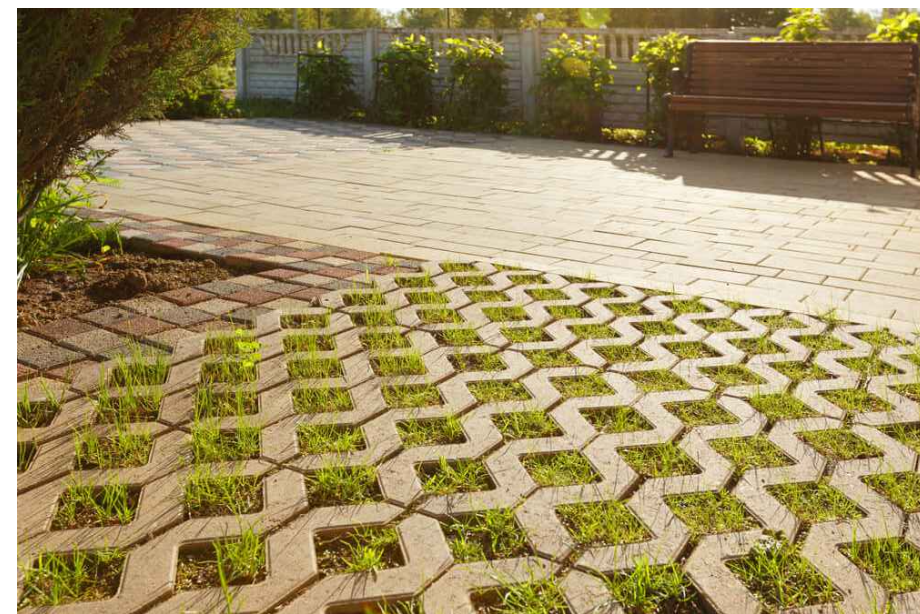




- PERVIOUS GRAVEL
- PERVIOUS PAVERS
- VEGETATIVE AREA


TRIBUTARY ZONE (AREA)	COLLECTION ZONE (AREA) (TYPE)
A1 - 460 SQ. FT.	B1 - 576 SQ. FT. VEGETATION
A2 - 640 SQ. FT.	B2 - 1190 SQ. FT. VEGETATION, PERVIOUS GRAVEL, AND PERVIOUS PAVERS
A3 - 387 SQ. FT.	B3 - 521 SQ. FT. VEGETATION AND PERVIOUS PAVERS
A4 - 607 SQ. FT.	B4 - 1254 SQ. FT. VEGETATION, PERVIOUS GRAVEL, AND PERVIOUS PAVERS

PERVIOUS PAVERS (FOR ILLUSTRATIVE PURPOSES ONLY)




NOT FOR CONSTRUCTION

BC ENGINEERING GROUP, INC.  
CIVIL ENGINEERING & LAND PLANNING  
www.bceengineeringgroup.com  
Phone: 707.542.4321  
SANTA ROSA OFFICE:  
2800 Cleveland Ave., Suite B, Santa Rosa, CA 95403  
UKIAH OFFICE:  
603 S. State Street, Ukiah, CA 95482



LANDS OF MILLER  
PRELIMINARY STORMWATER CONTROL PLAN  
KEN MILLER  
6651 JEFFERSON STREET  
YOUNTVILLE, CA 94599



Date: 12/8/2023  
Job: 2978-23  
Drawn: AB  
Scale: AS SHOWN  
APN: 036-035-004  
Permit #:  
Sheet: 1.0  
1 of 1



## Water Demand Estimate and Meter Sizing Using Fixture Values

(Based on AWWA M22 Manual, Second Edition)

Project Number 2978-23

Building address or number 6651 Jefferson Street

Residential or Non-Residential Residential

Pressure Zone at Project 55

Fixture or Appliance	Fixture Value (at 60 psi)	Number of Fixtures	Subtotal Fixture Value
Toilet (tank)	4	3	12
Toilet (flush valve)	35	0	0
Urinal (wall or stall)	16	0	0
Urinal (flush valve)	35	0	0
Bidet	2	0	0
Shower (single head)	2.5	3	7.5
Sink (lavatory)	1.5	5	7.5
Kitchen Sink	2.2	2	4.4
Utility Sink	4	0	0
Dishwasher	2	2	4
Bathtub	8	1	8
Clothes Washer	6	1	6
Hose connections (with 50 ft of hose)			
1/2 in.	5	0	0
5/8 in.	9	3	27
3/4 in.	12	0	0
Miscellaneous			
Bedpan washers	10	0	0
Drinking fountains	2	0	0
Dental units	2	0	0
Combined Fixture Value			76.4
Demand (gpm)			22
Pressure Adjustment Factor			0.95
Total Adjusted demand (gpm)			20.9
Preliminary Demand Size			3/4"
Velocity (fps)			15.2
Required Meter Size			1"

Review by: Andrew Willis

Approved by: Andrew Willis